

# McDonald's®

2702 S. COLLEGE RD. REGION: MID-ATLANTIC  
WILMINGTON, NC

## DESIGNER OF RECORD:

DISCIPLINE	COMPANY	REPRESENTATIVE	ADDRESS	PHONE NO.
CIVIL:	TOWER ENGINEERING	FREDERICK HERB, P.E.	326 TRYON RD., RALEIGH, NC 27603	919.661.6351
LANDSCAPE:	TOWER ENGINEERING	FREDERICK HERB, P.E.	326 TRYON RD., RALEIGH, NC 27603	919.661.6351
ARCHITECT:	NOT APPLICABLE			
SITE LIGHTING:	NOT APPLICABLE			

## OWNER REPRESENTATIVE:

DISCIPLINE:	REGION	REPRESENTATIVE	ADDRESS	PHONE NO.
AREA CONST. MANAGER:	MID-ATLANTIC	STEVE KELLETT	163 CARLISLE BENNETT RD., SPARTANBURG, SC 29307	864.494.2491

## REGION: MID-ATLANTIC BUILDING INFORMATION

### ADDRESS

STATE SITE CODE: 32-0496  
STREET ADDRESS: 2702 S. COLLEGE ROAD  
CITY, STATE: WILMINGTON, NC

### SITE:

MCDONALD'S SITE AREA: 0.5± AC (LEASED)  
DISTURBED AREA: 0.14 AC.  
ZONED: RB (REGIONAL BUSINESS)  
PIN: R06114-004-001-000  
EXISTING STALL COUNT: 18 STALLS  
PROPOSED STALL COUNT: 18 STALLS

### BUILDING CODE:

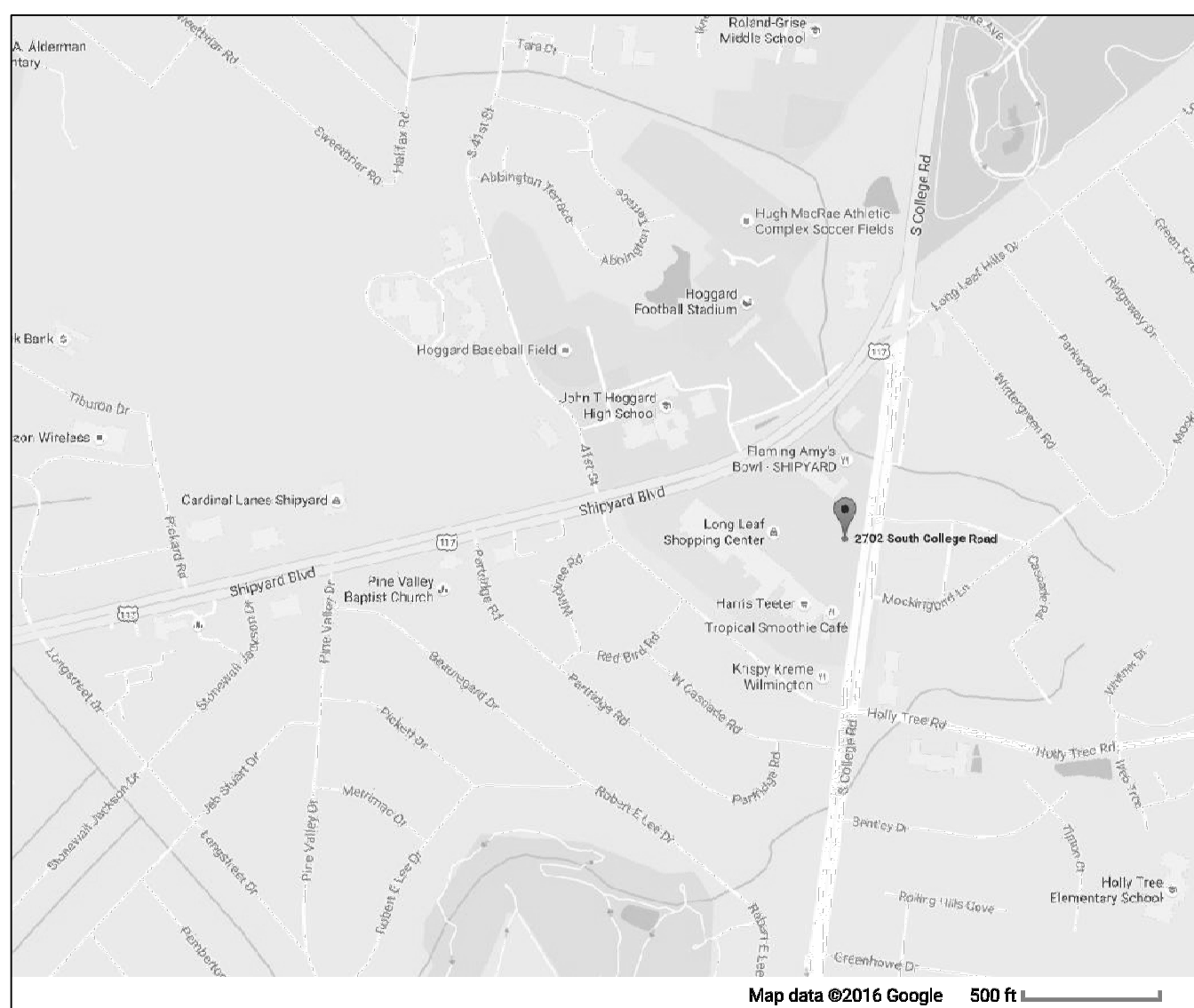
BUILDING CODE EDITION: 2012 NC BUILDING CODE  
MECHANICAL CODE EDITION: 2012 NC MECHANICAL CODE  
ELECTRICAL CODE EDITION: 2014 NATIONAL ELECTRIC CODE  
PLUMBING CODE EDITION: 2012 NC PLUMBING CODE  
ENERGY CODE EDITION: 2012 NC ENERGY CONSERVATION CODE

### SCOPE OF WORK

- EXISTING MCDONALD'S RESTAURANT TO UNDERGO REMODEL AND ADDITION (SEE BUILDING PLANS FOR ASSOCIATED MODIFICATIONS)
- SITE TO BE RENOVATED TO INCLUDE NEW OPTIMIZED TANDEM DRIVE THRU LAYOUT AND TO MEET APPLICABLE ACCESSIBILITY REQUIREMENTS.

### VICINITY MAP

SCALE N.T.S.



### AERIAL PHOTO

SCALE N.T.S.



### GENERAL CONSTRUCTION NOTES:

- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER AND DESIGNER OF RECORD IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN AND CHANGES APPROVED.
- THIS PLAN HAS BEEN REVIEWED BY THE AUTHORITY HAVING JURISDICTION AND/OR ITS AUTHORIZED REPRESENTATIVE, BUT SUCH CHECKING AND/OR APPROVAL DOES NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY TO CORRECT ERRORS, OMISSIONS OR MAKE CHANGES REQUIRED BY CONDITIONS DISCOVERED IN THE FIELD DURING THE COURSE OF CONSTRUCTION. MCDONALD'S CONSTRUCTION MANAGER & THE AUTHORITY HAVING JURISDICTION SHALL BE INFORMED IN WRITING OF ANY CHANGES MADE DURING CONSTRUCTION PRIOR TO EXECUTION OF SAID CHANGE.
- ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE AUTHORITY HAVING JURISDICTION(S) PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND SIGNED BY THE APPROPRIATE PROFESSIONAL(S) PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
- THE LOCATION OF EXISTING UTILITIES SHOWN HEREIN IS AN APPROXIMATION OF THEIR ACTUAL LOCATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO ASSUME ALL LIABILITY FOR ANY AND ALL DAMAGES WHICH MAY OCCUR DUE TO THE CONTRACTOR'S FAILURE TO PHYSICALLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.
- THE CONTRACTOR SHALL NOT PERFORM ANY EXCAVATION OPERATIONS UNTIL ALL APPLICABLE UTILITY COMPANIES, COUNTY AND CITY AGENCIES HAVE BEEN NOTIFIED AND GIVEN THE OPPORTUNITY TO MARK THEIR FACILITIES IN THE FIELD.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE APPROPRIATE AGENCIES, UTILITIES OR COMPANIES TO PROVIDE TEMPORARY ELECTRIC POWER, WATER SUPPLY AND SANITARY FACILITIES DURING DURATION OF CONSTRUCTION ACTIVITIES. ASSOCIATED COSTS SHALL BE INCIDENTAL TO PROJECT.
- ALL WORK SHALL BE PER OSHA AND APPLICABLE FEDERAL, STATE AND LOCAL CODE REQUIREMENTS.
- THE CONTRACTOR SHALL SECURE ALL REQUIRED ENCROACHMENT AND/OR OTHER PERMITS FROM ALL GOVERNING AGENCIES BEFORE THE COMMENCEMENT OF WORK. CONTRACTOR SHALL MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS OR OTHER ADJACENT OCCUPIED OR USED FACILITIES. STREETS, WALKS OR OTHER ADJACENT OCCUPIED OR USED FACILITIES SHALL NOT BE CLOSED OR OBSTRUCTED WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION; ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS SHALL BE PROVIDED IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORK HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT, AND ENGINEER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE FOR THE OWNER, ARCHITECT, OR ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY EXCEPT FOR THE ADEQUACY OF HIS DESIGN CONTAINED HEREIN.
- ALL GRADING TO BE IN ACCORDANCE WITH LOCAL ADOPTED CODES AND ASTM D1557.
- THE SITE SHALL BE EITHER UNIFORMLY GRADED BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN, BETWEEN SUCH POINTS AND EXISTING FINISHED GRADES, OR CONFORM POINTS; SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. IT SHALL COMPLY WITH THE GEOTECHNICAL'S REPORT COMPACTION REQUIREMENTS AND BE SLOPED TO DIRECT WATER AWAY FROM THE BUILDING AND TO PREVENT PONDING.
- ALL GRADED AREAS SHALL BE PROTECTED FROM TRAFFIC AND EROSION, KEPT FREE FROM TRASH AND WEEDS AND EMPLOYEE SEDIMENTATION CONTROL SYSTEMS. PRIOR TO COMPLETION OF THE PROJECT THE CONTRACTOR SHALL RESTORE ALL GRADED AREAS TO THEIR SPECIFIED TOLERANCES.
- PRIOR TO PLACING AGGREGATE BASE OR PAVEMENT, THE SUBGRADE SHALL BE TREATED WITH A SOILS STERILIZATION TYPE WEED KILLER (EPA-REGISTERED) AND TERMITE CONTROL WHERE REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR RESETTING EXISTING MONITORING WELLS, MANHOLES, CLEAN-OUTS AND ANY OTHER STRUCTURE TO FINISH GRADE AS NECESSARY.
- ALL NEW ASPHALT PAVING AND CONCRETE WORK SHALL MATCH THE EXISTING GRADES AT LIMITS OF WORK. SLOPE AWAY FROM BUILDINGS.
- REPLACE EXISTING ASPHALT PAVING AND/OR CONCRETE AS REQUIRED DUE TO NEW CONSTRUCTION INSTALL NEW PAVING PER PLAN AND/OR MCDONALD'S SPECIFICATIONS.
- EXISTING ASPHALT PAVING AND/OR CONCRETE SHALL BE CUT TO A NEAT, STRAIGHT LINE (WHEN APPLICABLE). ALL EXPOSED VERTICAL SURFACES SHALL BE TACKED COATED BELOW FINISH GRADE LINE WITH ASPHALT EMULSION PRIOR TO PAVING.
- ALL NEW CONCRETE PAVING SHALL BE SEALED. JOINT SEALANT SHALL BE APPLIED TO ALL EXPANSIONS AND ISOLATION JOINTS; AND CONTROL JOINTS IN DRIVE SLABS.
- 'SAW-CUTTING' TO CREATE CONTROL JOINTS SHALL BE DONE WITHIN 1 TO 4 HOURS (PENDING TEMPERATURE) AFTER THE HARDENING SUFFICIENTLY, TO PREVENT RAVELING OR DISLODGING OF AGGREGATES, OF THE CONCRETE.
- UNLESS OTHERWISE NOTED, ALL CURBS SHALL HAVE A 6" CURB FACE.
- ASPHALT PRIME COAT SHALL BE APPLIED TO THE COMPACTED AGGREGATE BASE PRIOR TO PLACING ASPHALTIC CONCRETE. THE RATE OF APPLICATION SHALL BETWEEN 0.2 AND 0.5 GALLONS PER SQUARE YARD.
- ASPHALT TACK COAT SHALL BE APPLIED BELOW FINISHED GRADE TO ALL VERTICAL SURFACES IN CONTACT WITH THE ASPHALT PAVEMENT AND TO THE SURFACE OF THE BASE COURSE WITH FINISH COURSE PLACED ON DIFFERENT DAYS. TACK COAT SHALL BE APPLIED AT A RATE BETWEEN 0.05 AND 0.015 GALLONS PER SQUARE YARD.
- SEAL COAT SHALL BE APPLIED TO ALL NEW ASPHALTIC PAVEMENT PER MANUFACTURER SPECIFICATIONS AND MCDONALD'S PROJECT MANUAL.
- ANY WORK THAT IMPACTS ACCESSIBILITY SHALL BE RESTORED TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL ADOPTED CODES; MOST STRINGENT SHALL APPLY.

### REVISIONS

NO.	DATE	DESCRIPTION
2	12-01-2016	REVISION 2 PER CITY COMMENTS
1	12-01-2016	REVISION 1 PER CITY COMMENTS
0	9-8-2016	REVISION 0 PER CITY COMMENTS

## DRAWING INDEX

NO.	DESCRIPTION
C1.0	COVER SHEET
CIVIL	
C2.0	EXISTING SITE CONDITIONS/DEMO PLAN
C3.0	SITE PLAN
C4.0	ACCESSIBILITY PLAN
C5.0	GRADING/EROSION PLAN
C6.0	DRIVE THRU PLAN AND DETAILS
C7.0	DETAILS
C8.0	SITE FOUNDATIONS
C9.0	CITY DETAILS
C10.0	VEHICLE TURN DIAGRAMS
L1.0	LANDSCAPE PLAN

### LANDSCAPING NOTES, WHERE APPLICABLE:

#### GENERAL

- CONTRACTOR IS TO CONDUCT A FIELD REVIEW AND BE FAMILIAR WITH ALL EXISTING AND PROPOSED UTILITIES AND SUBSURFACE FEATURES PRIOR TO START OF WORK. SEE ARCHITECTURAL, SITE AND CIVIL PLANS.
- ALL MATERIALS AND EQUIPMENT SHALL BE PROVIDED AND INSTALLED AS SHOWN IN THE DETAILS AND AS DESCRIBED IN THE SPECIFICATIONS, EXCEPT AS NOTED OTHERWISE.
- ALL UTILITIES, EXISTING IRRIGATION AND NON-IMPACTED LANDSCAPING SHALL BE PRESERVED AND PROTECTED IN PLACE. EXISTING REMOTE CONTROL VALVES SERVICING ADJACENT AREAS MUST REMAIN IN OPERATION DURING THE COURSE OF THE PROJECT. SHOULD THERE BE ANY DISRUPTION IN WATER SERVICE AS RESULT OF THIS WORK AND PLANTS IN ADJACENT AREAS DIE, THE CONTRACTOR WILL BE RESPONSIBLE TO REPLACE PLANTS IN LIKE KIND. THEREFORE THE CONTRACTOR MAY BE REQUIRED TO HOOK UP TEMPORARY IRRIGATION OR HAND WATER FOR THE DURATION UNTIL PERMANENT REPAIRS CAN BE MADE.
- THE CONTRACTOR IS REQUIRED TO VERIFY AND PROVIDE THE QUANTITY OF MATERIALS SHOWN ON THE LANDSCAPE PLANS. QUANTITIES IN THE LANDSCAPE LEGENDS ARE MERELY A GUIDE FOR ESTIMATING. THEREFORE QUANTITIES SHOWN ON THE LANDSCAPE PLANS TAKE PRECEDENCE OVER QUANTITIES LISTED IN THE LEGENDS.
- CONTRACTOR SHALL CONFIRM IF CITY CERTIFICATION OF THE LANDSCAPE INSTALLATION IS REQUIRED, CONTRACTOR TO CONTACT THE AUTHORITY UNDER JURISDICTION 48 HOURS PRIOR TO COMPLETION OF INSTALLATION WORK TO ARRANGE FOR THE REQUIRED SITE REVIEW AS PART OF THIS CERTIFICATION. ALL WORK TO BE PER PLANS AND ANY MODIFICATIONS SHALL BE APPROVED BY MCDONALD'S CONSTRUCTION MANAGER PRIOR TO IMPLEMENTATION.
- ALL CONSTRUCTION WASTE TO BE RECYCLED AS APPROPRIATE.
- OBTAIN ALL MATERIALS LOCALLY (WITHIN 50 MILES) AS POSSIBLE.
- REFER TO ARCHITECTURAL AND CIVIL PLANS FOR DESCRIPTIONS OF ELEMENTS NOT IDENTIFIED ON THIS PLAN.
- PERMANENTLY SEED AND MULCH CUT SLOPES AS EXCAVATION PROCEEDS TO THE EXTENT CONSIDERED DESIRABLE AND PRACTICAL.
- UNLESS REQUIRED WITHIN A SHORTER TIME FRAME BY THE AUTHORITY UNDER JURISDICTION, SLOPES THAT ERODE EASILY OR THAT WILL NOT BE GRADED FOR A PERIOD OF 14 DAYS OR MORE, SHALL BE TEMPORARILY STABILIZED AS WORK PROGRESSES WITH VEGETATION OR OTHER ACCEPTABLE MEANS UNLESS OTHERWISE SPECIFIED HEREIN THE CONSTRUCTION DOCUMENTS.

#### PLANTING

- SET PLANTS IN PITS OR BEDS, PARTLY FILLED WITH PREPARED PLANT MIX, AT A MINIMUM DEPTH OF 6 INCHES UNDER EACH PLANT. REMOVE BURLAP, ROPES AND WIRES FROM THE ROOT BALL.
- MINIMUM SETBACKS DISTANCES FOR TREE PLANTING SHALL BE PER AUTHORITY UNDER JURISDICTION AND TAKE INTO ACCOUNT CLEAR SIGHT LINES FOR VEHICLES ENTERING OR EXITING THE SITE.
- ALL SURFACE AND SUB-SURFACE DRAINAGE STRUCTURES SHALL BE MAINTAINED. CONTRACTOR TO IDENTIFY EXISTING PAVED AREAS BEING CONVERTED INTO PLANTING BEDS AND NEW PLANTER BED SURROUNDED BY PAVEMENT OR STRUCTURES AND SHALL DECOMPACT SOILS AS APPLICABLE. EXCAVATE PLANTER BED TO A MINIMUM DEPTH OF 16". REMOVE FOREIGN MATERIALS, WEEDS AND UNDESIRABLE PLANTS AND THEIR ROOTS. REMOVE CONTAMINATED SUBSOIL. SOIL SHALL BE DISCARDED OFF-SITE. UNIFORMLY FILL PLANTERS WITH NATIVE SOIL OR COMPATIBLE TOPSOIL TO WITHIN 1-1/2" OF TOP OF CURB. COMPACT TO 85%. REPLACE AND CONDITION SOIL PER GEOTECHNICAL REPORT.
- EXISTING LANDSCAPING TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. TREES TO REMAIN SHALL BE PROTECTED PER ISA OR AGENCY REQUIREMENTS. GRADING AND TRENCHING WITHIN DRIP LINES OF EXISTING PLANTS SHALL BE LIMITED AND DONE MANUALLY. GRADING/TRENCHING WITHIN THE DRIP LINE OF TREES SHALL BE WORKED ON UNDER THE SUPERVISION OF AN ARBORIST. BEYOND DRIP LINE, NO ROOTS LARGER THAN 1" SHALL BE CUT WITHOUT ARBORIST SUPERVISION AND APPROVAL.
- IF THERE ARE EXISTING LANDSCAPE AREAS TO REMAIN: SURFACE IN THESE AREAS TO BE CLEANED FREE OF WEEDS, LITTER, DEBRIS, ETC. REPLACE DEAD, DAMAGED, OR MISSING PLANTS WITH SPECIMENS OF SIMILAR MATERIAL.
- NO LANDSCAPING OF ANY TYPE SHALL BE PLACED WITHIN THREE (3) FEET OF ANY FIRE HYDRANT, FIRE SUPPRESSION SYSTEM CONTROL VALVE, OR ANY TYPE OF FIRE RELATED CONTROL DEVICE. PLANTS SHALL BE SELECTED FOR THIS AREA THAT WILL NOT ENCRUST UPON THIS THREE (3) FOOT RADIUS.
- SYMBOL FOR GROUND COVER IS SCHEMATIC AND IS NOT SHOWN UNDER SHRUBS AND TREES FOR CLARITY. CONTRACTOR TO INSTALL UNDER SHRUBS AND TREES TO FILL ENTIRE PLANTER BED. QUANTITY IN LEGEND IS A GUIDE AND SHALL BE VERIFIED/DETERMINED BY GENERAL CONTRACTOR.
- SEE MCDONALD'S PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.



IF YOU DIG IN  
NORTH CAROLINA...  
CALL US FIRST!  
1-800-632-4949  
NORTH CAROLINA ONE CALL  
IT'S THE LAW

APPROVED CONSTRUCTION PLAN	
NAME	DATE
PLANNING:	
TRAFFIC:	
FIRE:	
Date:	Permit #:
Signal:	

TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tegroup.net  
N.C. LICENSE # C-1794



December 29, 2016

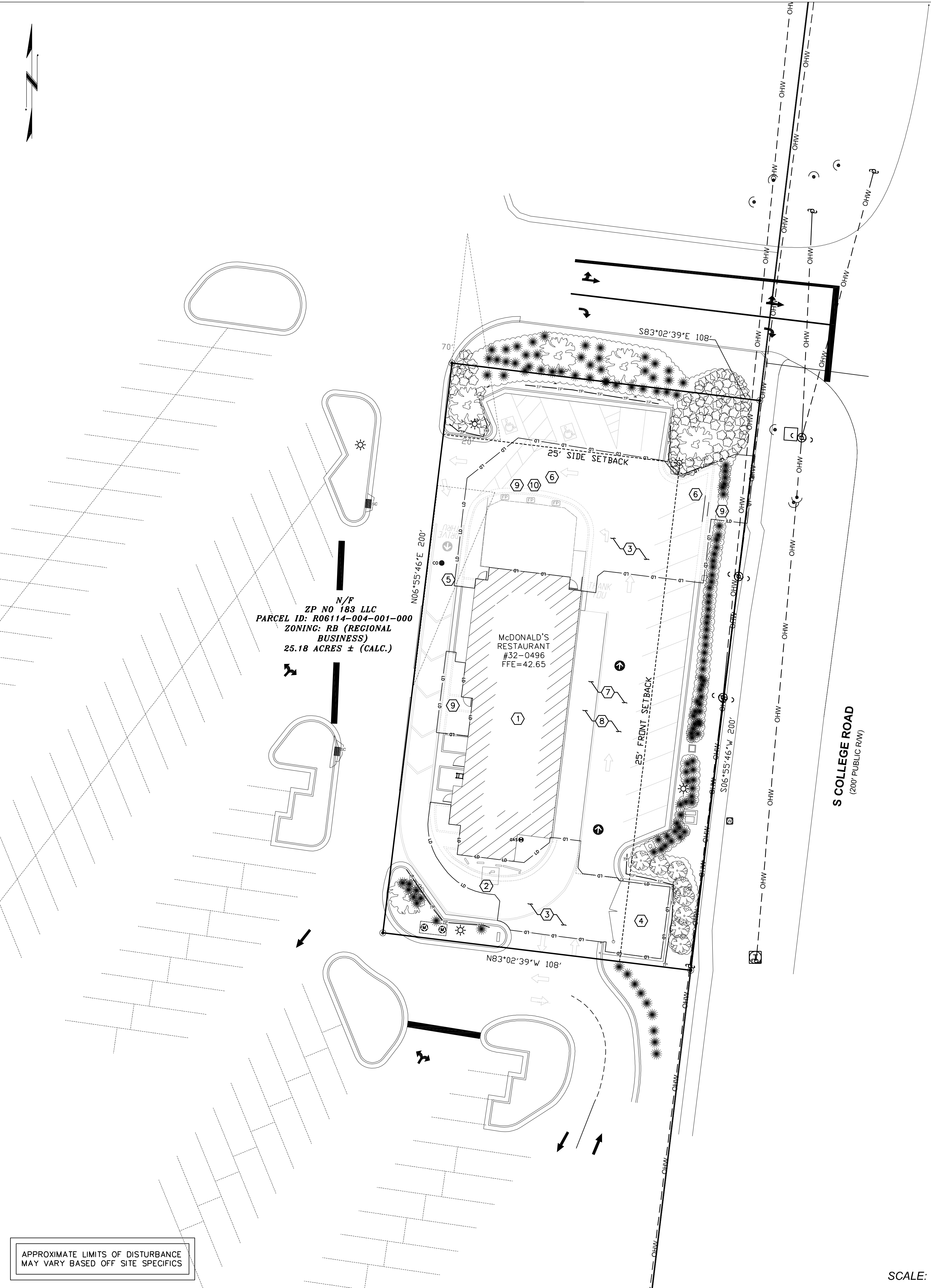
**McDonald's**  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, NC 27609

DATE	APPROVAL	STATUS	DATE	BY
	REGIONAL MGR. SIGNATURE (2 REQUIRED)	FINAL	-	-
	REGIONAL DEV. DIRECTOR	PLAN CHECKED	-	-
	REGIONAL CONSTRUCTION MGR.	AS-BUILT	-	-
	REGIONAL REAL ESTATE MGR.			
	CO-SIGN SIGNATURES			
	AREA CONSTRUCTION MGR.			
	CONTRACTOR			

**DEMOLITION KEY NOTES:**

- ① SEE BUILDING PLANS FOR BUILDING MODIFICATIONS
- ② REMOVE DRIVE THRU COMPONENTS (MENU BOARD, COD, ETC.) - SALVAGE EQUIPMENT FOR POSSIBLE REUSE - COORDINATE WITH A.C.M.
- ③ SAW-CUT AND REMOVE ASPHALT AND/OR CONCRETE (TYP. WITHIN LIMITS OF DISTURBANCE)
- ④ SAW-CUT AND REMOVE CONCRETE WITHIN INTERIOR OF TRASH CORRAL
- ⑤ EXTERIOR WALKWAY TO BE REMOVED ALONG BUILDING (TYP. UNLESS OTHERWISE NOTED) WITHIN LIMITS OF DISTURBANCE
- ⑥ REMOVE CURBING OR CURB & GUTTER (TYP. WITHIN LIMITS OF DISTURBANCE UNLESS INDICATED OTHERWISE)
- ⑦ EXISTING PARKING LOT STRIPING THAT WILL NOT BE USED AND IS NO LONGER NEEDED TO MEET LOT STRIPING GUIDELINES IS TO BE REMOVED COMPLETELY IN PREPARATION FOR SEAL AND STRIPE - REMOVAL TO BE DONE BY MEANS OF GRINDING, MILLING, SAND BLASTING, ETC. - THE USE OF BLACKOUT PAINT IS NOT PERMITTED - REMOVAL INCLUDED IN BID.
- ⑧ PROTECT EXISTING UNDERGROUND UTILITIES AND UTILITY SERVICES TO REMAIN - CONTRACTOR TO COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES AS REQUIRED TO ENSURE PROPER SHUT DOWN TO DEMOLITION WORK
- ⑨ BUSHES AND SHRUBS IN THE IMMEDIATE VICINITY OF THE REQUIRED AMERICAN WITH DISABILITIES ACT WALKWAY, EGRESS AND PATH TO THE PUBLIC RIGHT OF WAY TO BE REMOVED. SEE SHEET C-9 FOR TREE PROTECTION DETAILS.
- ⑩ REMOVE FLAGPOLES. COORDINATE WITH ACM/OWNER FOR REUSE



**LEGEND**

●	PROPERTY/LEASE CORNER	⊗	DEMO KEY NOTE
—	PROPERTY LINE	→	DRIVE THRU DIRECTIONAL ARROW
- - -	SETBACK LINE	→	'DRIVE THRU' WITH DIRECTIONAL ARROW
- - -	EASEMENT	→	TRAFFIC LOT FLOW ARROW
F.F.E. = XXXXX	FINISH FLOOR ELEVATION	⊞	CANOPY WITH COD AND DETECTOR LOOP
T	TELEPHONE LINE	⊞	OPO MENU BOARD
W	WATER LINE	⊞	GREASE TRAP
OHW	OVERHEAD UTILITIES	⊞	WOOD/TREE LINE
E	UNDERGROUND ELECTRICAL	SF	SILT FENCE OR TREE PROTECTION (WHERE APPLICABLE)
SS	SANITARY SEWER	LD	LIMITS OF DISTURBANCE
RD	ROOF DRAIN	SC	INLET PROTECTION SEE DETAIL SHEETS FOR METHODS
RW	RIGHT OF WAY	TP	TREE PROTECTION SEE DETAIL SHEETS FOR METHODS
S	SANITARY SEWER MANHOLE		
TF	TRANSFORMER		
INLET	INLET		
POWER POLE	POWER POLE		
WATER VALVE	WATER VALVE		
SIGN	SIGN		
BOLLARD	BOLLARD		
POLE MOUNTED AREA LIGHT	POLE MOUNTED AREA LIGHT		
FIRE HYDRANT	FIRE HYDRANT		
ACCESSIBLE STALL	ACCESSIBLE STALL		
FLAG POLE	FLAG POLE		

APPROXIMATE LIMITS OF DISTURBANCE MAY VARY BASED OFF SITE SPECIFICS

**GENERAL SITE NOTES:**

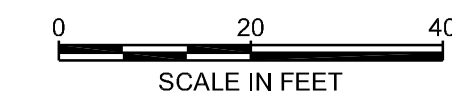
1. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 OR 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
4. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
5. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
6. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
7. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
8. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
9. ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
10. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
11. SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA F.I.R.M. COMMUNITY PANEL NUMBER 3720313600J, WITH AN EFFECTIVE DATE OF APRIL 3, 2006.
12. G.C. TO PROTECT ALL OFF-SITE PAVING/CURBING FROM CHIPPING OR BREAKING DURING ALL DEMOLITION WORK. PATCH/REPAIR ANY EXISTING ITEMS DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION AT NO COST TO THE OWNER.

**EXISTING PARKING INFORMATION**

TOTAL SPACES	ACCESSIBLE SPACES	8' X 17' @ 60'	8.5' X 17' @ 60'	8.5' X 18' @ 60'	9.5' X 18' @ 60'	9' X 18' @ 90'
18	2					

STREET ADDRESS 2702 S. COLLEGE ROAD	
CITY WILMINGTON	STATE NORTH CAROLINA
COUNTY NEW HANOVER	
PIN R06114-004-001-000	LOCATION CODE NUMBER 032-0496
TEP PID 56725	

SCALE: 1" = 20'-0"



APPROVED CONSTRUCTION PLAN  
NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

PLANNING: \_\_\_\_\_  
TRAFFIC: \_\_\_\_\_  
FIRE: \_\_\_\_\_

WILMINGTON  
Public Services/Engineering Division  
APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

REV	DATE	DESCRIPTION	BY	ISSUE/REF
1	12-01-2016	REVISION PER CITY COMMENTS		
0	9-9-2016	FIRST ISSUE		

TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tegroup.net  
N.C. LICENSE # C-1794

SEAL  
043770  
ENGINEER  
PATTON W. CRIDGUE

December 1, 2016

McDonald's  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, NC 27609

DATE	APPROVAL	STATUS	DATE	BY
	REGIONAL MGR. SIGNATURE (2 REQUIRED)	FINAL	-	-
	REGIONAL DEV. DIRECTOR	PLAN CHECKED	-	-
	REGIONAL CONSTRUCTION MGR.	AS-BUILT	-	-
	REGIONAL REAL ESTATE MGR.			
	CO-SIGN SIGNATURES			
	AREA CONSTRUCTION MGR.			
	CONTRACTOR			

C-2  
EXISTING CONDITIONS/  
DEMO SITE PLAN

**SITE KEY NOTES:**

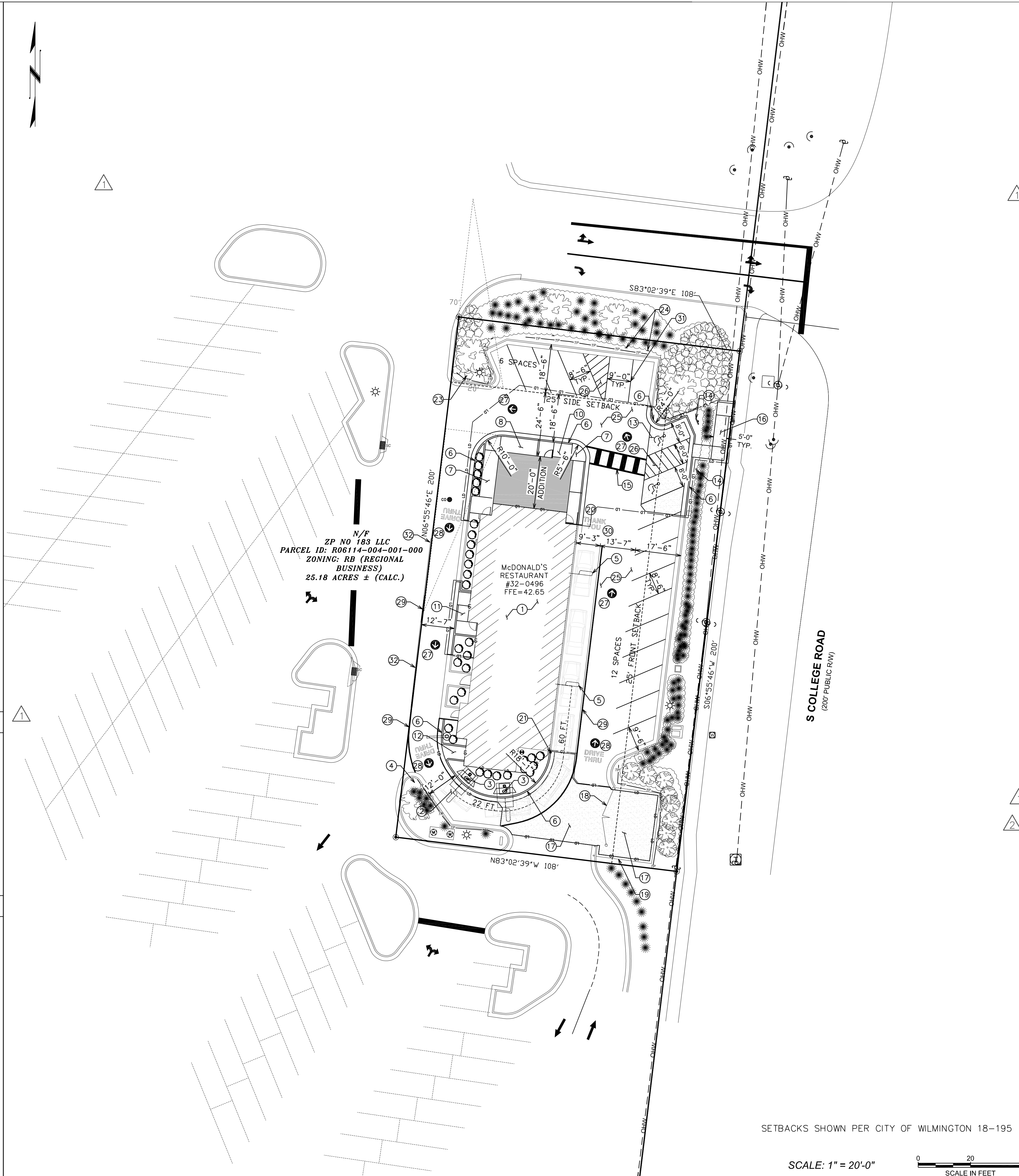
- 1 MODIFIED BUILDING FOOTPRINT WHICH INCLUDES BUILDING ADDITION. SEE BUILDING PLANS FOR DETAILS.
- 2 TANDEM DRIVE THRU OPTIMIZED AT 60 FT. AND 80 FT. CONCRETE PAD AT DRIVE THRU WITH 10' CONTROL JOINTS AND 20' EXPANSION JOINTS. TIE INTO EXISTING PAD TO REMAIN WHERE APPLICABLE.
- 3 NEW OPO MENU BOARD WITH INTEGRATED CUSTOMER ORDER DISPLAY PER DETAIL SHEET. GALVANIZED ANCHOR BOLTS (6" ABOVE GRADE). FOOTING AND ELECTRICITY BY GENERAL CONTRACTOR. SIGN INSTALLED BY SIGN CONTRACTOR. COORDINATE WITH A.C.M.
- 4 REVERSE ARM GATEWAY PER DETAIL SHEET. GALVANIZED ANCHOR BOLTS (6" ABOVE GRADE). FOOTING AND ELECTRICITY BY GENERAL CONTRACTOR. SIGN INSTALLED BY SIGN CONTRACTOR. CONTRACTOR TO COORDINATE WITH A.C.M.
- 5 INSTALL DETECTOR LOOPS AT EACH DRIVE THRU WINDOW PER DETAIL SHEET (VERIFY WITH A.C.M.). REPAIR/REPLACE CONCRETE AS REQUIRED.
- 6 CONSTRUCT CURB AND GUTTER PER DETAIL SHEET. TIE INTO EXISTING ADJACENT CURBING WHERE APPLICABLE.
- 7 CONCRETE EXTERIOR WALKWAY PER McDONALD'S SPECIFICATIONS. VERIFY FINISH WITH A.C.M.
- 8 CONCRETE ACCESSIBLE PATH. SEE SHEET C4.0 FOR DETAILS.
- 9 NOT USED
- 10 CONCRETE ACCESSIBLE CURB RAMP. SEE SHEET C4.0 FOR DETAILS.
- 11 CONCRETE EGRESS TO GRADE.
- 12 CONCRETE DELIVERY RAMP AND WALKWAY AT STORAGE BUILDING.
- 13 CONCRETE PAD AT RELOCATED ACCESSIBLE PARKING SPACES AND AISLE.
- 14 ACCESSIBLE SIGNAGE. SEE SHEET C4.0 FOR ADDITIONAL DETAILS.
- 15 CONCRETE ACCESSIBLE CROSSWALK. SHEET SHEET C4.0 FOR DETAILS.
- 16 CONCRETE ACCESSIBLE ROUTE TO EXISTING PUBLIC SIDEWALK. REWORK INSPECTION WELLS AS REQUIRED TO BE FLUSH WITH WALKWAY.
- 17 NEW CONCRETE PAD WITHIN TRASH CORRAL AND APRON. VERIFY EXTENT OF REPLACEMENT WITH A.C.M.
- 18 INSTALL NEW TRASH CORRAL GATES (STEEL FRAME AND TREX BOARD).
- 19 PAINT TRASH CORRAL STRUCTURE TO MATCH PROPOSED COLOR SCHEME. SEE BUILDING PLANS FOR COLOR SPECIFICATIONS.
- 20 GUARDRAIL, PAINT TO MATCH PROPOSED COLOR SCHEME. SEE BUILDING PLANS FOR COLOR SPECIFICATIONS.
- 21 PIPE BOLLARD PER DETAIL SHEET.
- 22 NOT USED
- 23 REPLACE EXISTING STOP SIGN WITH NEW STOP SIGN
- 24 McDONALD'S APPROVED OUT OF SEQUENCE PARKING (OOSP) SIGNAGE (TYPICAL OF 2). SEE SHEET C6.0 FOR DETAILS.
- 25 REPAIR EXISTING ASPHALT LOT AS REQUIRED AND PROVIDE SEAL COAT. RESTRIPE PARKING SPACES WITH 4" WIDE STRIPES, WHITE, WHERE SHOWN UNLESS NOTED OTHERWISE.
- 26 PAINT 4" WIDE STRIPE, WHITE, @ 45° 2'-0" O.C.
- 27 PAINT DRIVE THRU DIRECTIONAL ARROW. SEE SHEET C6.0 FOR DETAILS.
- 28 PAINT "DRIVE THRU" WITH DIRECTIONAL ARROW. SEE SHEET C6.0 FOR DETAILS.
- 29 PAINT 6" WIDE STRIPE, YELLOW, ALONG OUTSIDE OF DRIVE THRU LANE.
- 30 PAINT "THANK YOU" PER McDONALD'S SPECIFICATIONS. SEE SHEET C6.0 FOR DETAILS.
- 31 PAINT OOSP PARKING STALL 4" WIDE STRIPE, YELLOW.
- 32 EXISTING HEADER CURB ALONG DRIVE THRU LANE TO REMAIN. REPAINT YELLOW PER OWNER/OPERATOR REQUEST (VERIFY WITH A.C.M. AND O/O.)

**CITY OF WILMINGTON GENERAL SITE NOTES**

- A ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- B ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) (STANDARDS).
- C ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- D A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 910-341-5888 FOR MORE DETAILS.
- E ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CRUBING WILL BE REPLACED.
- F A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND REC. DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE PLAT.
- G CONTACT TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.

**LEGEND**

— W —	WATER LINE	●	PROPERTY CORNER
— OHW —	OVERHEAD UTILITIES	—	PROPERTY LINE
— E —	UNDERGROUND ELECTRICAL	- - - -	SETBACK LINE
— SS —	SANITARY SEWER	- - - -	EASEMENT
— RD —	ROOF DRAIN	F.F.E. +XXXX	FINISH FLOOR ELEVATION
— RW —	RIGHT OF WAY	— T —	TELEPHONE LINE
M	SANITARY SEWER MANHOLE	⊗	SITE KEY NOTE
TF	TRANSFORMER	➔	DRIVE THRU DIRECTIONAL ARROW
INLET	INLET	➔	"DRIVE THRU" WITH DIRECTIONAL ARROW
POWER POLE	POWER POLE	➔	TRAFFIC LOT FLOW ARROW
WATER VALVE	WATER VALVE	➔	
SIGN	SIGN	➔	
BOLLARD	BOLLARD	➔	
POLE MOUNTED AREA LIGHT	POLE MOUNTED AREA LIGHT	➔	CANOPY WITH COD AND DETECTOR LOOP
FIRE HYDRANT	FIRE HYDRANT	➔	OPO MENU BOARD
ACCESSIBLE STALL	ACCESSIBLE STALL	➔	GREASE TRAP
FLAG POLE	FLAG POLE	➔	



N/F  
 ZP NO 183 LLC  
 PARCEL ID: R06114-004-001-000  
 ZONING: RB (REGIONAL BUSINESS)  
 25.18 ACRES ± (CALC.)

McDONALD'S RESTAURANT  
 #32-0496  
 FFE=42.65

S COLLEGE ROAD  
 (200' PUBLIC R/W)

SETBACKS SHOWN PER CITY OF WILMINGTON 18-195

SCALE: 1" = 20'-0"



**GENERAL SITE NOTES:**

1. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 OR 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION. NO NEW UTILITIES ARE REQUIRED.
3. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
4. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
5. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
6. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
7. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
8. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
9. ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
10. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
11. SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA F.I.R.M. COMMUNITY PANEL NUMBER 3720313600J, WITH AN EFFECTIVE DATE OF APRIL 3, 2006.

**SITE DATA**

REQUIRED BUILDING SETBACKS	FRONT	REAR	CORNER LOT SIDE	INTERIOR SIDE
	25'	15'	25'	0'
ACTUAL BUILDING SETBACKS	FRONT	SIDE		
	53'-8"	48'-6"		
BUILDING DIMENSIONS	LENGTH	WIDTH	HEIGHT	SQ. FT.
	111'-2"	37'-2"	19'-3"	3262 SQ. FT.
BUILDING LOT COVERAGE = 3262 SQ. FT. / 21600 SQ. FT. x 100 = 15.1% LOT COVERAGE				
EXISTING PARKING	PROVIDED	MAX. REQ.	MIN. REQ.	EXISTING SEATING
	18 SPACES	29 SPACES	18 SPACES	18 SEATS
PROPOSED PARKING	PROVIDED	MAX. REQ.	MIN. REQ.	PROPOSED SEATING
	18 SPACES	26 SPACES	16 SPACES	63 SEATS
GAMA LAND USE CLASSIFICATION = URBAN				
BICYCLE PARKING	REQUIRED	PROPOSED	BICYCLE PARKING IS REQUIRED FOR SITES THAT HAVE >25 PARKING SPACES.	
	0 SPACES	0 SPACES		

**PROPOSED PARKING INFORMATION**

TOTAL SPACES	ACCESSIBLE SPACES	SEATING
18	2	63

STREET ADDRESS 2702 S. COLLEGE ROAD	
CITY WILMINGTON	STATE NORTH CAROLINA
COUNTY NEW HANOVER	
PIN R06114-004-001-000	LOCATION CODE NUMBER 032-0496
TEP PID 56725	

APPROVED CONSTRUCTION PLAN

PLANNING: \_\_\_\_\_ DATE: \_\_\_\_\_

TRAFFIC: \_\_\_\_\_

FIRE: \_\_\_\_\_

WILMINGTON NORTH CAROLINA  
 Public Services Engineering Division  
 APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit #: \_\_\_\_\_

Signature: \_\_\_\_\_

REV	DATE	DESCRIPTION	BY	ISSUE/REF
2	12-29-2016	REVISION 2 PER CITY COMMENTS		
1	12-01-2016	REVISION PER CITY COMMENTS		
0	9-5-2016	FIRST ISSUE		

TOWER ENGINEERING PROFESSIONALS  
 326 TRYON ROAD  
 RALEIGH, NC 27603  
 OFFICE: (919) 661-6351  
 www.tepgroup.net  
 N.C. LICENSE # C-1794

December 29, 2016

McDonald's®

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

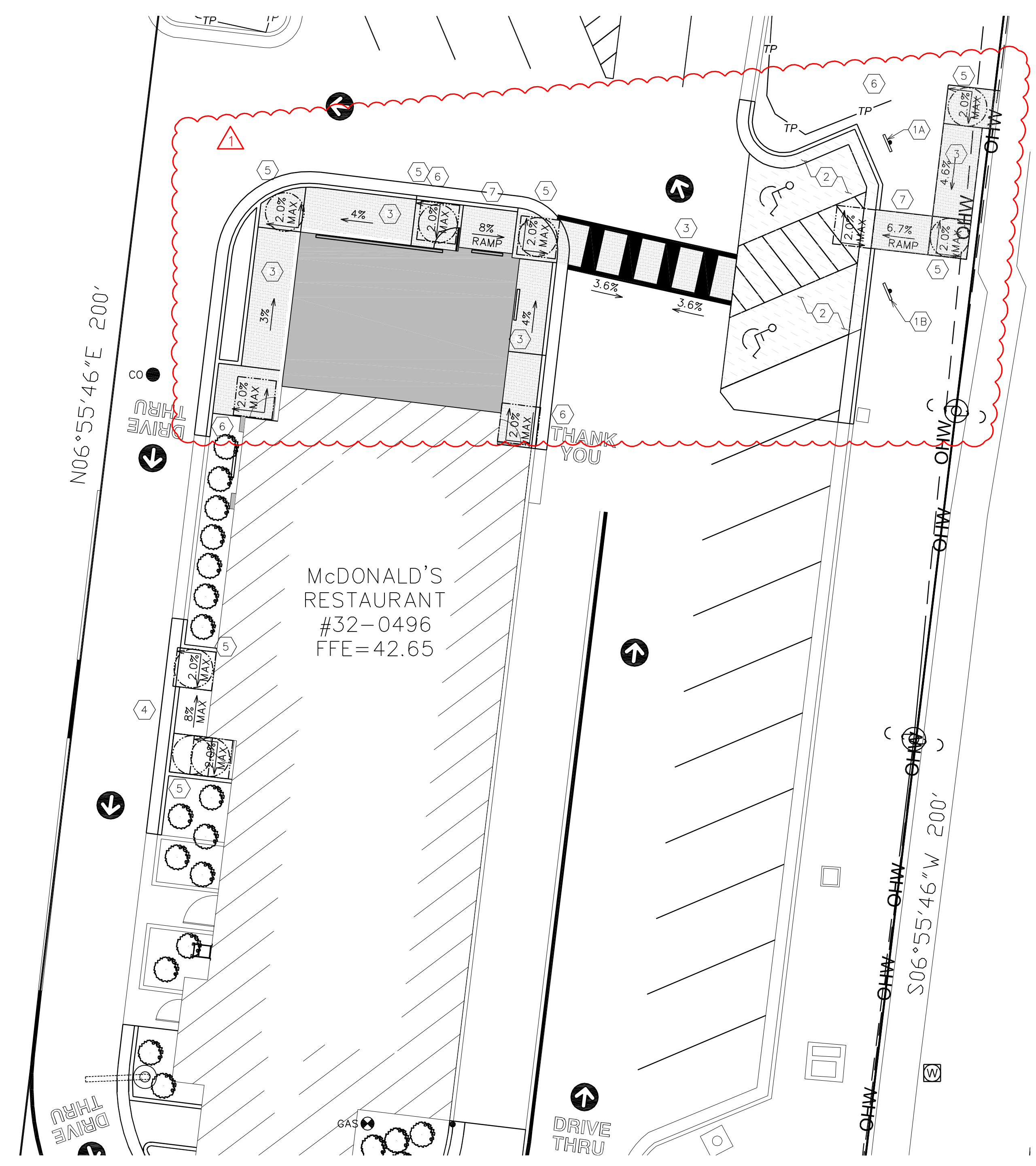
REGIONAL MGR. DIRECTOR  
 REGIONAL CONSTRUCTION MGR.  
 REGIONAL REAL ESTATE MGR.  
 CO-SIGN SIGNATURES  
 AREA CONSTRUCTION MGR.  
 CONTRACTOR

OFFICE ADDRESS: 4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

STATUS: FINAL  
 DATE: -  
 BY: -

PLAN CHECKED: -  
 AS-BUILT: -

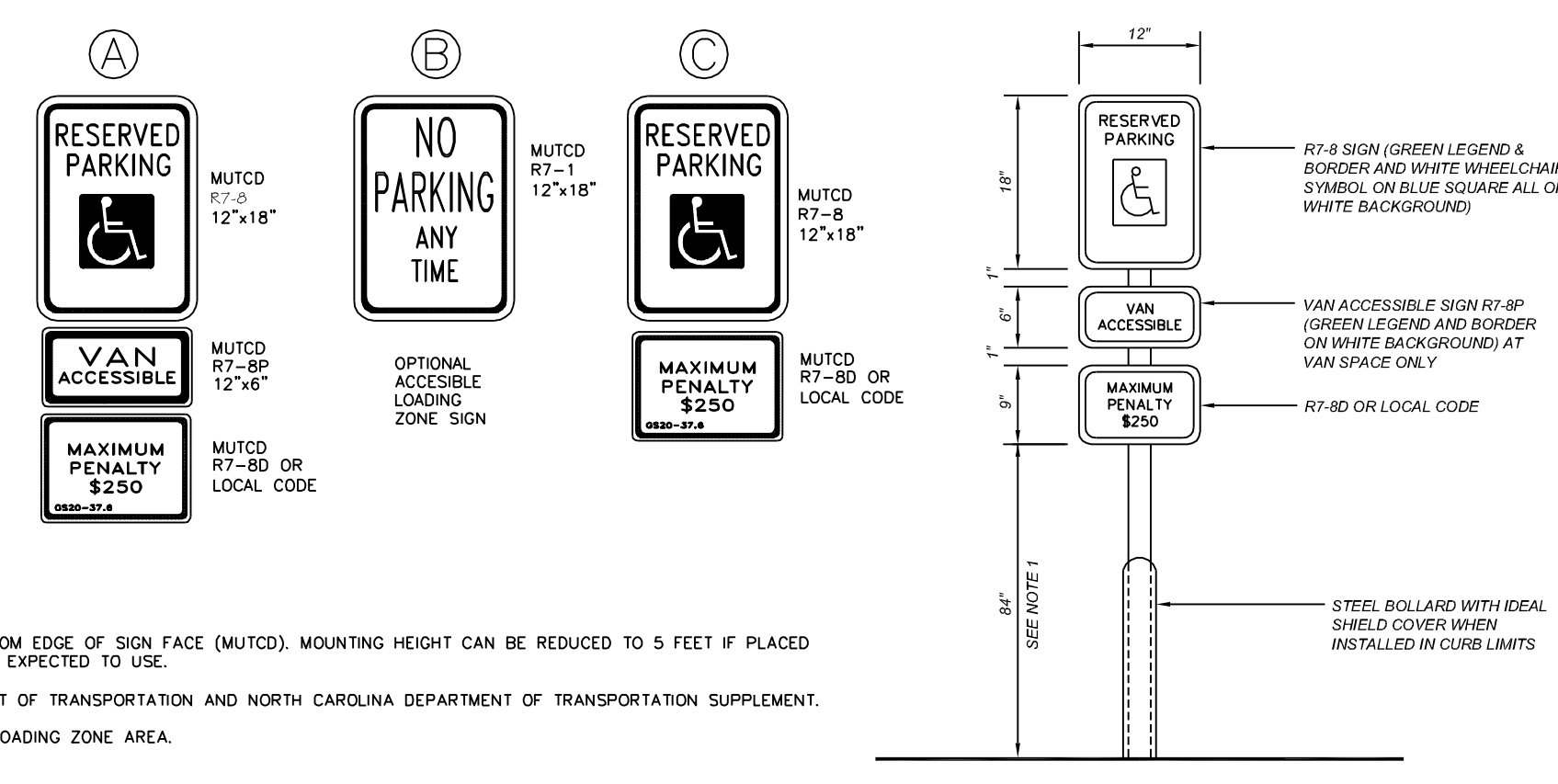
C-3  
 SITE PLAN



**ACCESSIBLE PARKING REQUIREMENTS**

TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	2
301 TO 400	8	2
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 6 ACCESSIBLE SPACES
1001 AND OVER	2% PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 6 ACCESSIBLE SPACES

REFERENCE: SECTION 1106 OF NC STATE BUILDING CODE



- NOTES:**
- ALL 12"x18" ACCESSIBLE SIGNS SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
  - REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
  - IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMP IS REQUIRED AT LOADING ZONE AREA.
  - SIGNAGE MUST NOT OBSTRUCT ACCESSIBLE ROUTE OR RAMP.
  - SIGNAGE TO BE INSTALLED ON STEEL BOLLARD WITH IDEAL SHIELD COVER WHEN INSTALLED INSIDE CURB/ASPHALT LIMITS
  - PER CITY OF WILMINGTON STANDARD, ACCESSIBLE SIGNAGE TO BE MAINTAINED BY PROPERTY OWNER.

**ACCESSIBLE PARKING & SIGNAGE**  
NOT TO SCALE

**GENERAL SITE NOTES:**

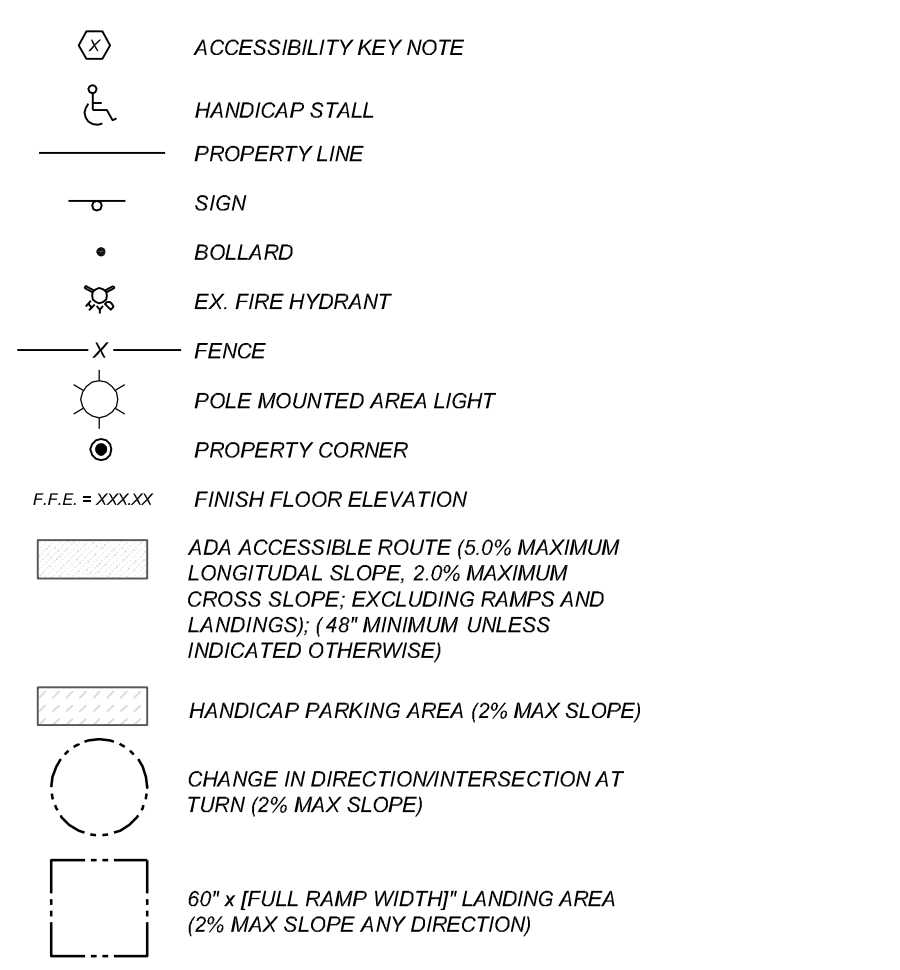
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 OR 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA F.I.R.M. COMMUNITY PANEL NUMBER 3720313600J, WITH AN EFFECTIVE DATE OF APRIL 3, 2006.
- EXTERIOR ACCESSIBLE SIGNAGE (ISA/DIRECTION, SPEACH/HEARING IMPAIRED, ETC.) TO BE INSTALLED BY GENERAL CONTRACTOR IN REQUIRED LOCATIONS PER CODE

**ACCESSIBILITY KEY NOTES:**

- INSTALL ACCESSIBLE VAN SIGNAGE - SEE THE SPECIFICATION ON THIS SHEET FOR DETAILS
- INSTALL ACCESSIBLE CAR SIGNAGE - SEE THE SPECIFICATION ON THIS SHEET FOR DETAILS
- ACCESSIBLE PARKING SPACES' AND AISLE'S SLOPES NOT TO EXCEED 2.0% IN ANY DIRECTION
- PROPOSED EXTERIOR WALKWAY TO HAVE A SLOPE OF NO MORE THAN 5% AND A CROSS SLOPE OF NO MORE THAN 2.0%
- ACCESSIBLE EGRESS TO GRADE
- ANY CHANGE IN DIRECTION AND/OR INTERSECTION AT A TURN ALONG THE ACCESSIBLE PATH TO HAVE SLOPE AND CROSS SLOPE NO GREATER THAN 2.0%
- CLEAR FLOOR AREA FOR DOOR - LANDING AREA NOT TO EXCEED 2.0% IN ANY DIRECTION
- PROPOSED EXTERIOR ACCESSIBLE RAMP TO HAVE A SLOPE OF NO MORE THEN 8.3% AND A CROSS SLOPE OF NO MORE THAN 2.0%

- NOTE:**
- 2.00% MAX CROSS SLOPE AND 5.0% MAX LONGITUDINAL SLOPE
  - MARKING SHOWN INTENDED TO MEET WILMINGTON TECHNICAL STANDARDS AND SPECIFICATIONS MANUAL SD 11-11.

**LEGEND**



**ACCESSIBLE SLOPE CHART**

	SLOPE	CROSS SLOPE
PARKING SPACE	2.0% MAX	2.0% MAX
ACCESSIBLE AISLE	2.0% MAX	2.0% MAX
ACCESSIBLE ROUTE	5.0% MAX	2.0% MAX
ACCESSIBLE RAMP	8.3% MAX	2.0% MAX
TOP/BOTTOM LANDING	2.0% MAX	2.0% MAX
DOOR LANDING	2.0% MAX	2.0% MAX
WALKWAY	5.0% MAX	2.0% MAX
CHANGE IN DIRECTION	2.0% MAX	2.0% MAX

**NOTE:**  
CONTRACTOR TO VERIFY ALL EXISTING SLOPES. CONTACT TEP IN THE EVENT OF ANY SUBSTANTIAL DISCREPANCIES

**PROPOSED PARKING INFORMATION**

TOTAL SPACES	ACCESSIBLE SPACES	SPACES	SIZE	SPACING
18	2	SPACES	8' X 17'	@ 60'
	9	SPACES	8.5' X 17'	@ 60'
	4	SPACES	8.5' X 18'	@ 60'
	1	SPACES	9.5' X 18'	@ 60'
	2	SPACES	9' X 18'	@ 90'

**STREET ADDRESS**  
2702 S. COLLEGE ROAD

**CITY** WILMINGTON **STATE** NORTH CAROLINA

**COUNTY** NEW HANOVER

**PIN** R06114-004-001-000 **LOCATION CODE NUMBER** 032-0496

**TEP PID** 56725

**APPROVED CONSTRUCTION PLAN**

NAME: \_\_\_\_\_ DATE: \_\_\_\_\_

PLANNING: \_\_\_\_\_

TRAFFIC: \_\_\_\_\_

FIRE: \_\_\_\_\_

**WILMINGTON**  
Public Services Engineering Division  
APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit #: \_\_\_\_\_

Signed: \_\_\_\_\_

REV	DATE	DESCRIPTION	BY	ISSUER/REF
1	12-01-2016	REVISION PER CITY COMMENTS		
0	9-9-2016	FIRST ISSUE		

**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

**WILMINGTON PROFESSIONAL SEAL**  
043770  
ENGINEER  
PATTON W. CRIDGLEY

**McDonald's**  
December 1, 2016  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE: \_\_\_\_\_ ADDRESS: 4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

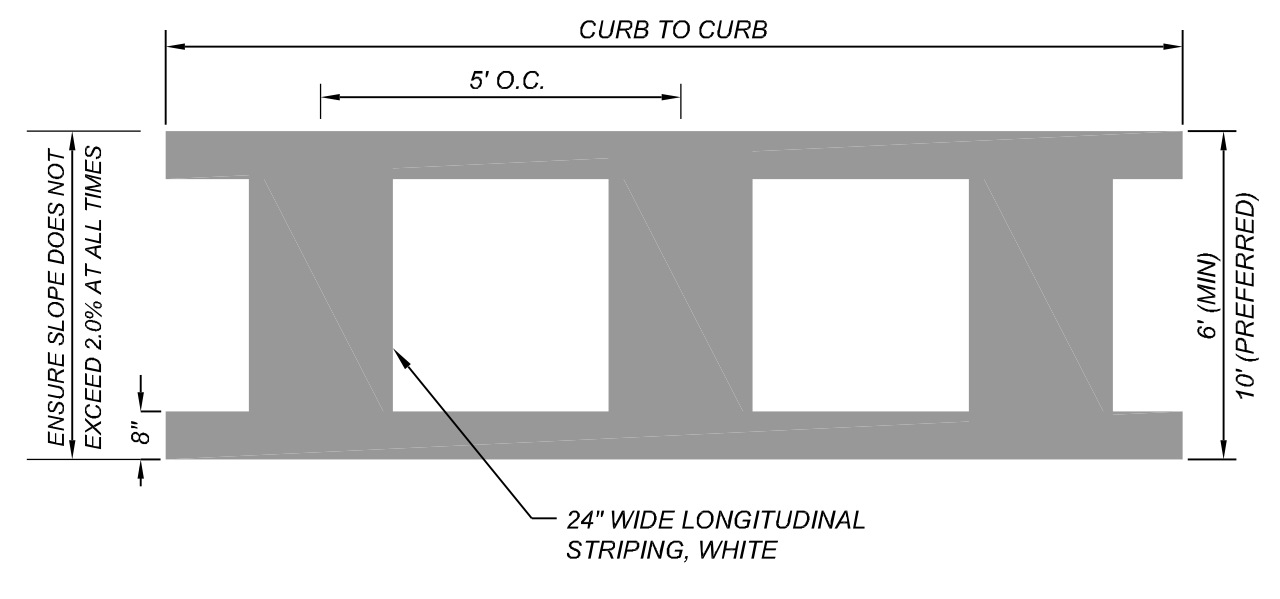
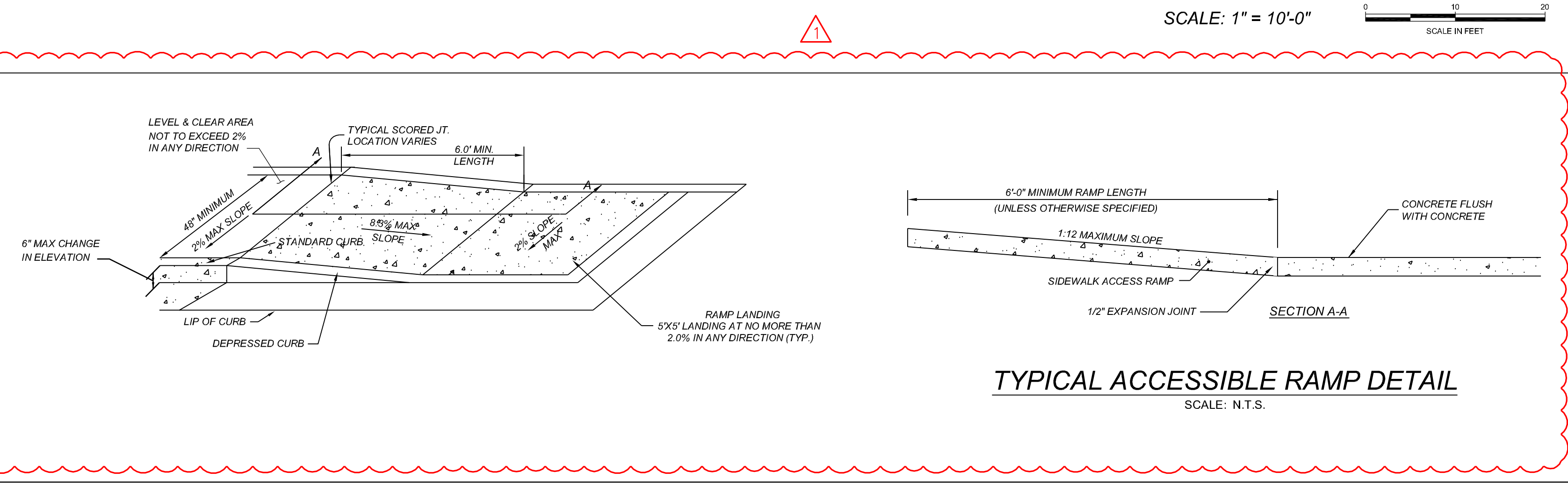
**PLAN APPROVAL**

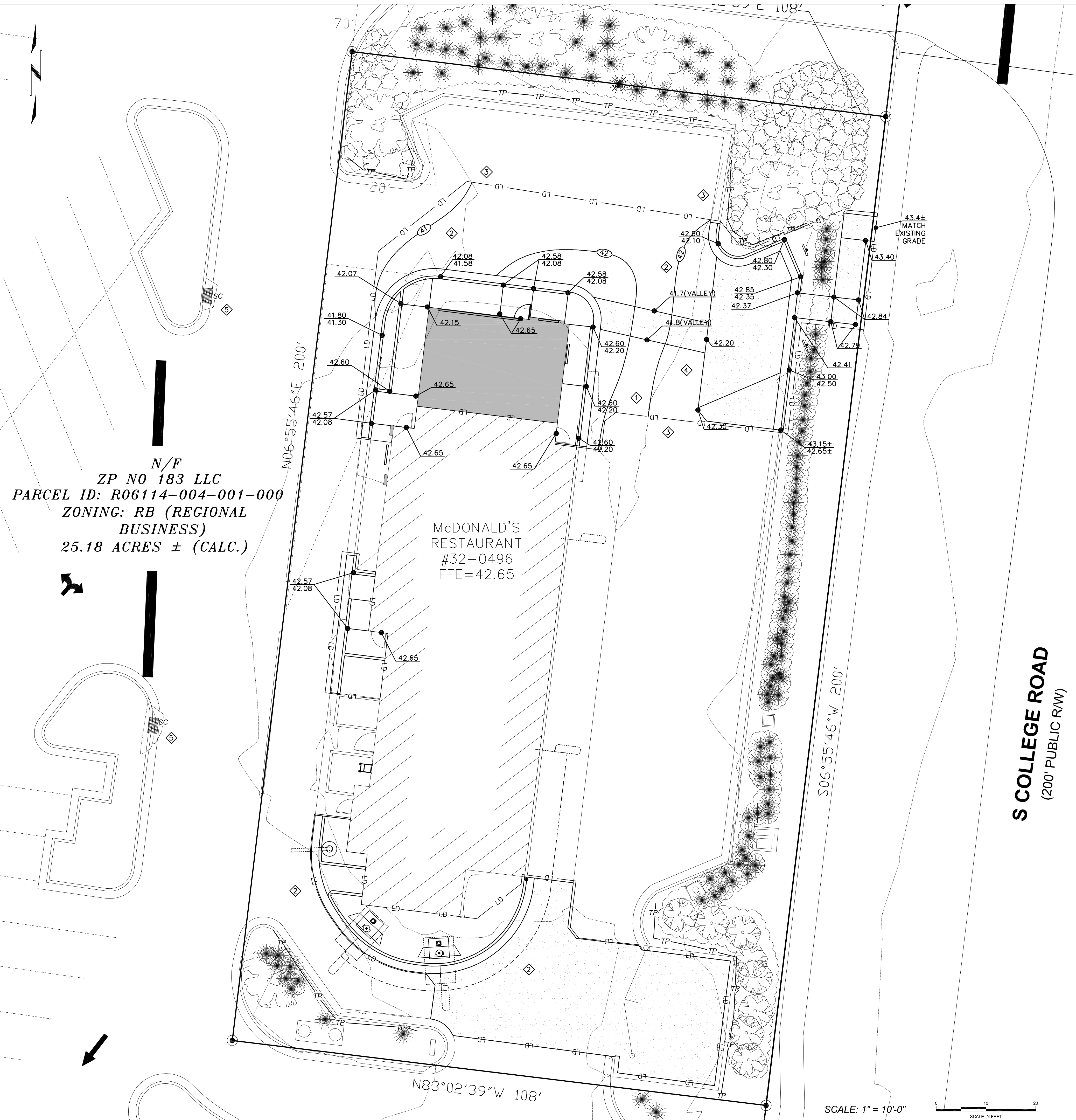
DATE	SIGNATURE (2 REQUIRED)	REGIONAL MGR.	DIRECTOR	REGIONAL CONSTRUCTION MGR.	REGIONAL REAL ESTATE MGR.	CO-SIGN SIGNATURES	AREA CONSTRUCTION MGR.	CONTRACTOR

**STATUS** FINAL **DATE** - **BY** -

**PLAN CHECKED** - **AS-BUILT** -

**C-4**  
ACCESSIBILITY PLAN





N/F  
 ZP NO 183 LLC  
 PARCEL ID: R06114-004-001-000  
 ZONING: RB (REGIONAL BUSINESS)  
 25.18 ACRES ± (CALC.)

McDONALD'S RESTAURANT  
 #32-0496  
 FFE=42.65

**GRADING/EROSION CONTROL NOTES:**

1. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 OR 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
2. SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA F.I.R.M. COMMUNITY PANEL NUMBER 3720313600J, WITH AN EFFECTIVE DATE OF APRIL 3, 2006.
3. ALL GRADING AND BACKFILLING, EXCAVATING, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORTS. REFER TO THESE REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
4. THE EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EARTHWORK.
5. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
6. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED AND REPAIRED AT A MINIMUM OF WEEKLY BASIS AND AFTER EVERY RAIN EVENT.
7. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
8. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCES.
9. THE APPROXIMATE AREA OF THE LIMITS OF CLEARING, GRADING AND CONSTRUCTION IS 0.13 ACRES.
10. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUNDBREAK.

**GRADING KEY NOTES**

- ① DUE TO EXISTING SLOPES ON SITE THE CENTER OF THE LOT WILL HAVE A LOW POINT OR VALLEY. THIS VALLEY MUST BE BELOW THE EXISTING DRIVE THRU AREA GRADES TO MAINTAIN POSITIVE DRAINAGE AND TIE INTO THE EXISTING PARKING RUNOFF
- ② SITE CONTRACTOR TO TIE BACK TO EXISTING GRADES AND MAINTAIN POSITIVE DRAINAGE THROUGHOUT THE SITE. CONTACT TEP WITH DISCREPANCIES OR CONCERNS PRIOR TO CONSTRUCTION.
- ③ GRADE LINE TIE-INS ARE APPROXIMATE. CONTRACTOR TO FIELD ADJUST TO MAINTAIN EXISTING DRAINAGE AS REQUIRED.
- ④ SLOPES AT THE ACCESSIBLE CROWLWAY ARE SHOWN AT 3.6% TO THE VALLEY. THESE MAY BE ADJUSTED AS REQUIRED TO MAINTAIN DRAINAGE. MINIMUM/MAXIMUM RUNNING SLOPE TO BE 0% AND 5% RESPECTIVELY.
- ⑤ ALL STORMWATER SHEET FLOWS TO EXISTING DRAIN INLETS. THE EXISTING DRAIN CONNECTS TO CITY PUBLIC STORMWATER. THE SITE IS NOT INCLUDED ON THE LONG LEAF MALL STATE STORMWATER PERMIT. RUNOFF PATTERN WILL NOT BE ALTERED BY THIS PROJECT.

**IMPERVIOUS SURFACE AREA DATA TABLE**

	SQ. FT.	% TOTAL
TOTAL PROPERTY AREA	21,600	100.00
EXISTING ONSITE IMPERVIOUS AREA	16,522	76.49
IMPERVIOUS DEMOLISHED AREA	5,491	25.42
EXISTING IMPERVIOUS SURFACE TO REMAIN	11,031	51.07
CONSTRUCTED/RECONSTRUCTED AREA	5,441	25.19
NEW TOTAL ONSITE IMPERVIOUS AREA	16,472	76.26
NET INCREASE IN IMPERVIOUS SURFACE AREA	-50	0.23

APPROXIMATE LIMITS OF DISTURBANCE MAY VARY BASED OFF SITE SPECIFICS. ADDITIONAL ASPHALT SHALL TRANSITION TO THE EXISTING LOT WITH NO GREATER SLOPE THAN 5% UNLESS NOTED OTHERWISE. CONTACT TEP IN THE EVENT OF ANY SUBSTANTIAL DISCREPANCIES

SLOPES SHOWN INTENDED TO MATCH DRAINAGE ON EXISTING SITE - CONTRACTOR TO VERIFY SLOPES AND DRAINAGE - MODIFY AS REQUIRED

**LEGEND**

- INLET
- WOOD/TREE LINE
- TOP OF CURB
- BOTTOM OF CURB
- SPOT ELEVATION
- HANDICAP PARKING AREA (2% MAX. SLOPE)
- PROPERTY LINE
- SETBACK LINE
- EASEMENT
- FINISH FLOOR ELEVATION
- TELEPHONE LINE
- WATER LINE
- OVERHEAD UTILITIES
- UNDERGROUND ELECTRICAL
- SANITARY SEWER
- ROOF DRAIN
- RIGHT OF WAY
- SILT FENCE OR TREE PROTECTION (WHERE APPLICABLE)
- LIMITS OF DISTURBANCE
- INLET PORTION SEE DETAILS FOR METHODS

**PROPOSED PARKING INFORMATION**

TOTAL SPACES	ACCESSIBLE SPACES	8' X 17'	@ 60'
18	2	8.5' X 17'	@ 60'
	4	8.5' X 18'	@ 60'
	1	9.5' X 18'	@ 60'
	2	9' X 18'	@ 90'

STREET ADDRESS  
 2702 S. COLLEGE ROAD

CITY: WILMINGTON STATE: NORTH CAROLINA

COUNTY: NEW HANOVER

PIN: R06114-004-001-000 LOCATION CODE NUMBER: 032-0496

TEP PID: 56725

APPROVED CONSTRUCTION PLAN

PLANNING: \_\_\_\_\_ DATE: \_\_\_\_\_

TRAFFIC: \_\_\_\_\_

FIRE: \_\_\_\_\_

WILMINGTON PUBLIC SERVICES ENGINEERING DIVISION APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit #: \_\_\_\_\_

Signature: \_\_\_\_\_

REV	DATE	DESCRIPTION	BY	ISSUE/REF
1	12-01-2016	REVISION PER CITY COMMENTS		
0	9-9-2016	FIRST ISSUE		

TOWER ENGINEERING PROFESSIONALS  
 326 TRYON ROAD  
 RALEIGH, NC 27603  
 OFFICE: (919) 661-6351  
 www.tepgroup.net  
 N.C. LICENSE # C-1794

SEAL: 043770  
 NORTH CAROLINA PROFESSIONAL ENGINEER  
 PATTON W. CRIDDOCK

December 1, 2016

McDonald's®  
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE: \_\_\_\_\_ ADDRESS: 4681 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

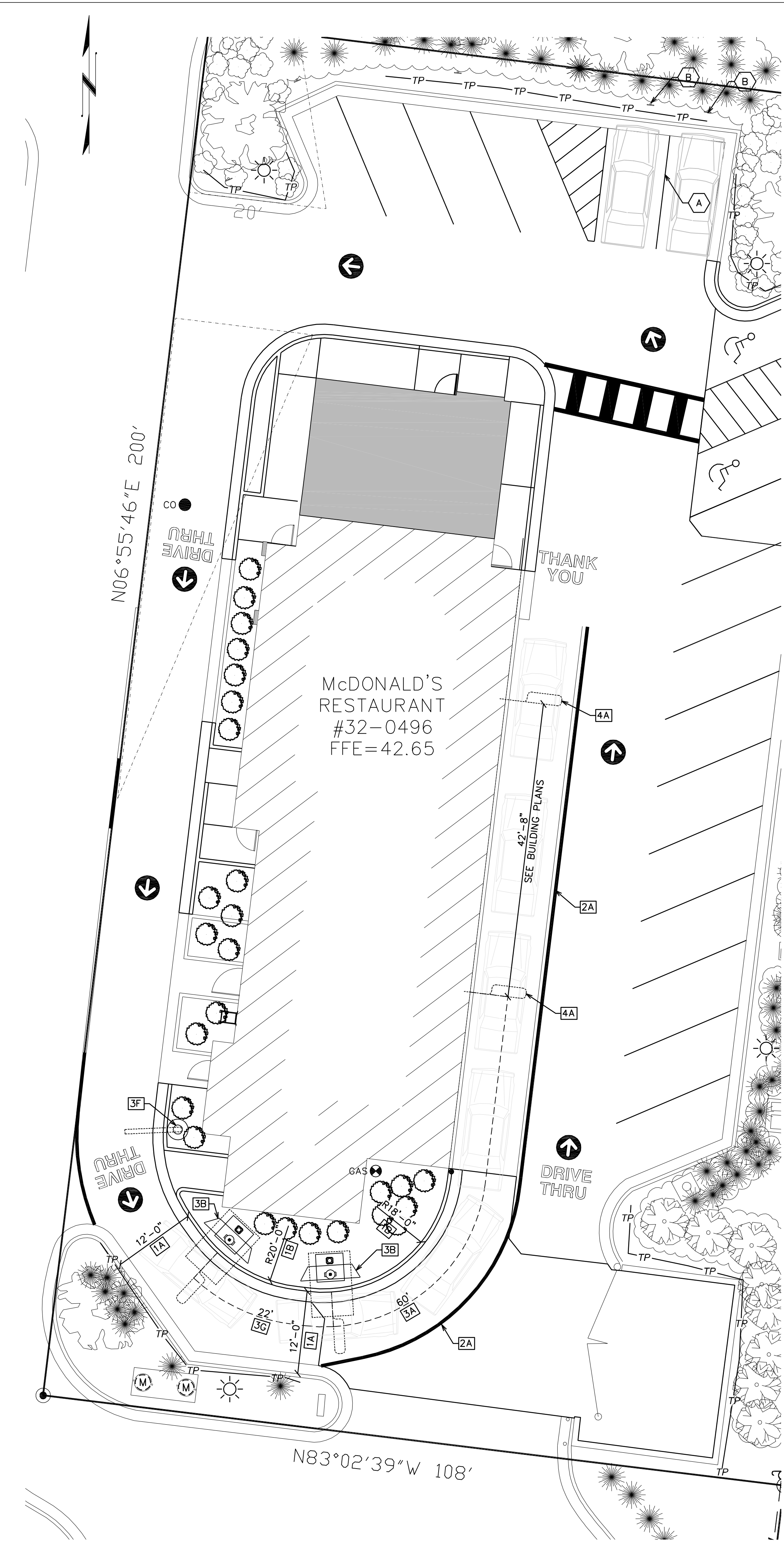
DATE	APPROVAL	DATE	APPROVAL	DATE	APPROVAL
	REGIONAL MGR. SIGNATURE (2 REQUIRED)		REGIONAL DEV. DIRECTOR		REGIONAL REAL ESTATE MGR.
	REGIONAL CONSTRUCTION MGR.		CO-SIGN SIGNATURES		AREA CONSTRUCTION MGR.
	CONTRACTOR				

STATUS: FINAL DATE: - BY: -

PLAN CHECKED: -

AS-BUILT: -

C-5  
 GRADING/EROSION PLAN

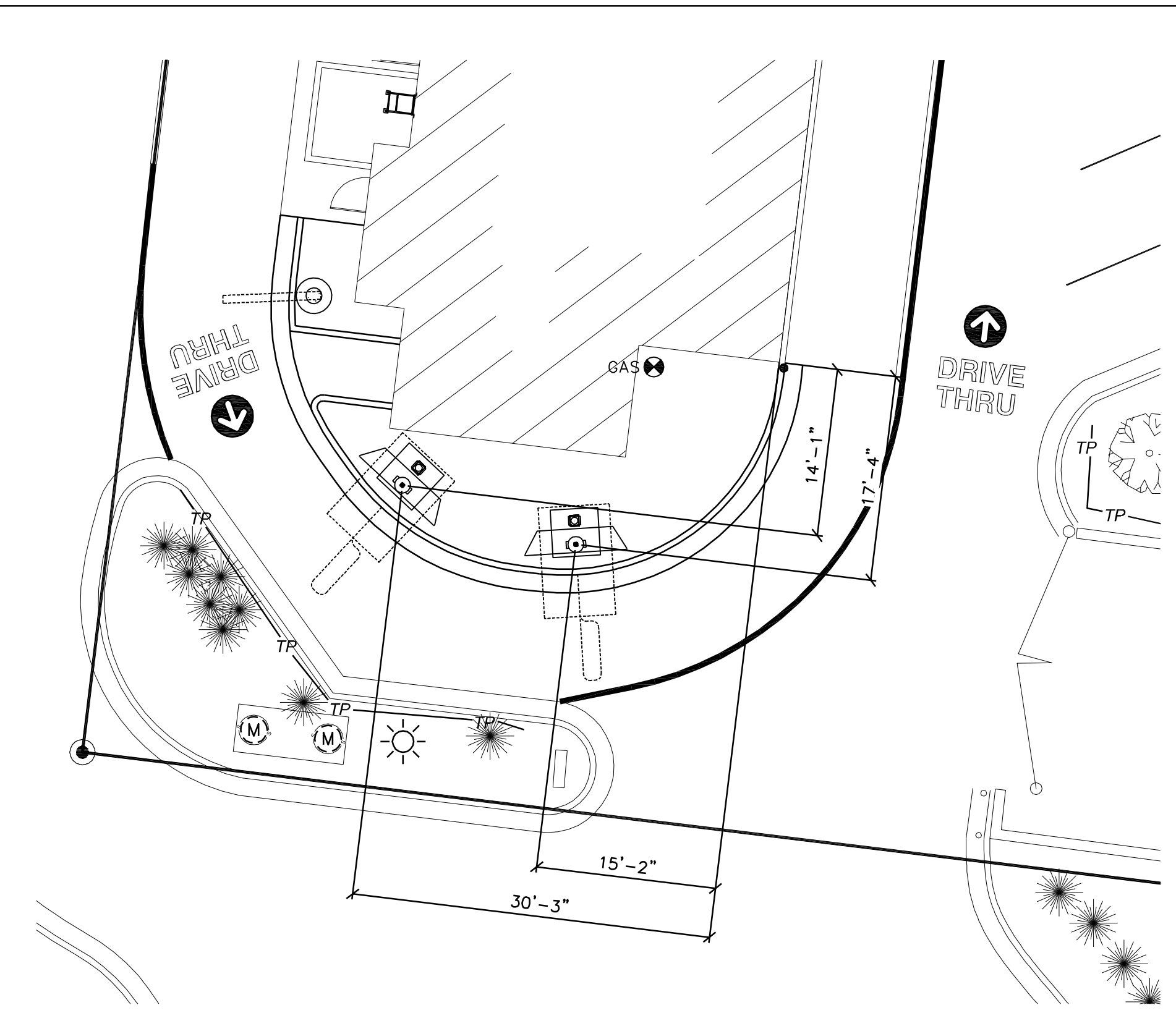


**TANDEM DRIVE-THRU STANDARDS**

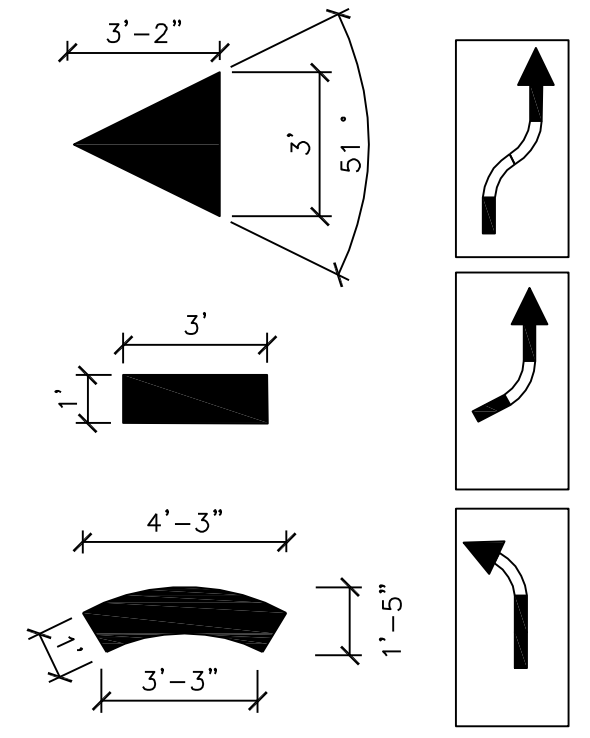
- TANDEM DRIVE-THRU STANDARD CURBING DETAILS:
  - 1A DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0"; LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0".
  - 1B THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 18'-0" (MRPs ONLY). 20'-0" IS PREFERRED.
- TANDEM DRIVE-THRU STANDARD PAVEMENT MARKINGS:
  - 2A 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE. LANE STARTS AT DRIVE-THRU ENTRANCE WHERE "McDONALD'S GATEWAY" IS LOCATED.
- TANDEM DRIVE-THRU STANDARD EQUIPMENT POSITIONING:
  - 3A MIN. 60'(+/-5') LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE COD FACE AND THE CENTER LINE OF THE OPEN CASH BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20' INCREMENTS TO A MAX. OF 100'. 80' IS OPTIMAL.
  - 3B OPO MENU BOARD WITH INTEGRATED COD
  - 3C NOT USED
  - 3D NOT USED
  - 3E A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB.
  - 3F AUGER "McDONALD'S GATEWAY" FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
  - 3G THE MIDPOINT OF THE SECONDARY COD FACE IS LOCATED 20'-0" (+ 2'; 20'-22") BACK FROM THE CENTER OF THE PRIMARY COD AS MEASURED ALONG THE CENTERLINE OF THE DRIVE-THRU LANE.
  - 3H NOT USED
  - 3I NOT USED
- TANDEM DRIVE-THRU STANDARD DETECTOR LOOP:
  - 4A DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING WINDOW AT THE CASH AND PRESENT BOOTHS.

**DT OOSP FEATURES:**

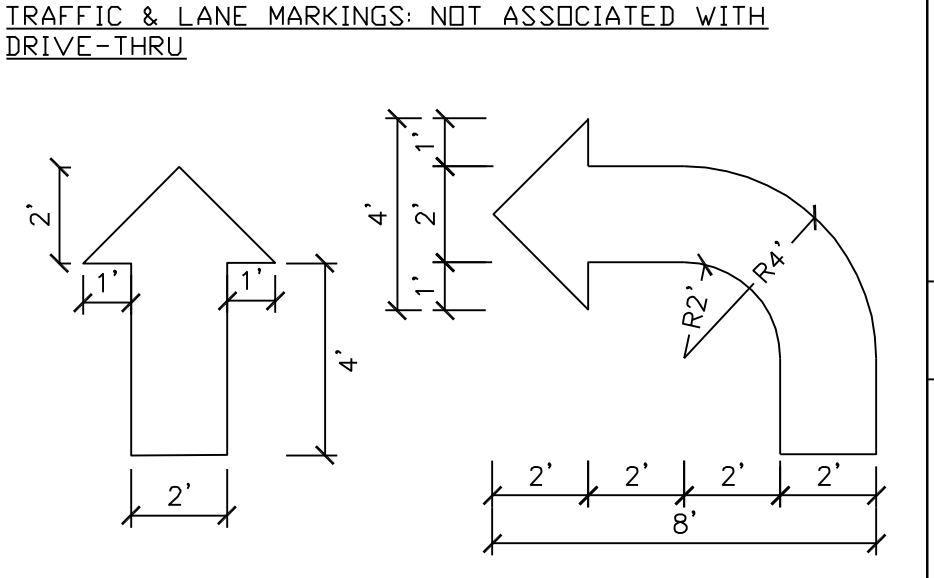
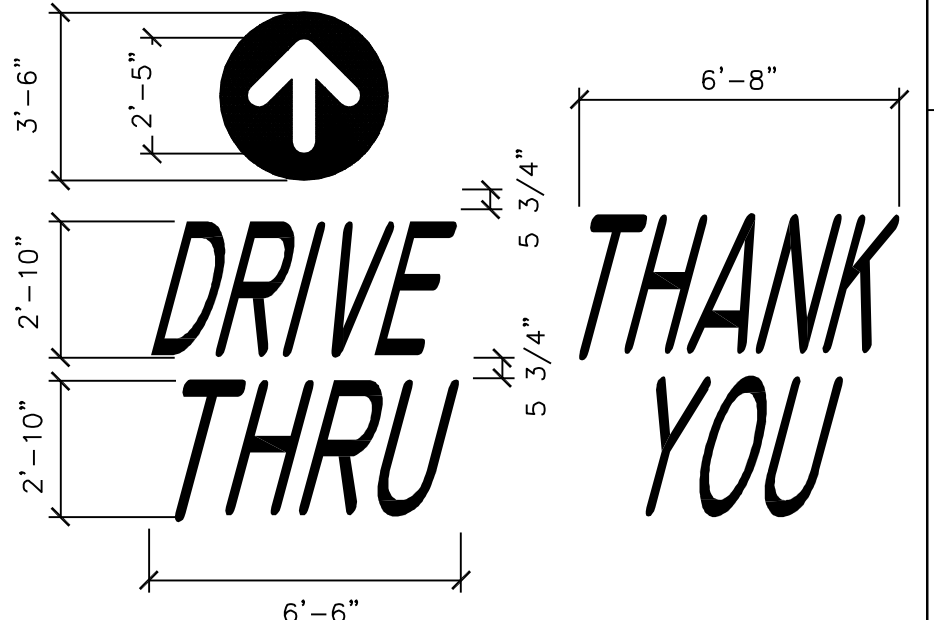
- A PAINT OOSP PARKING STALL STRIPING 4" WIDE, YELLOW
- B PROVIDE APPROVED SIGNAGE AT FRONT OF PULL FORWARD POSITION Dedicating AREA FOR DRIVE THRU LANE STACKING, WHERE APPLICABLE, BASE OF THE SIGN SHALL BE POSITIONED FREE AND CLEAR OF ANY ACCESSIBILITY ELEMENTS/FEATURES



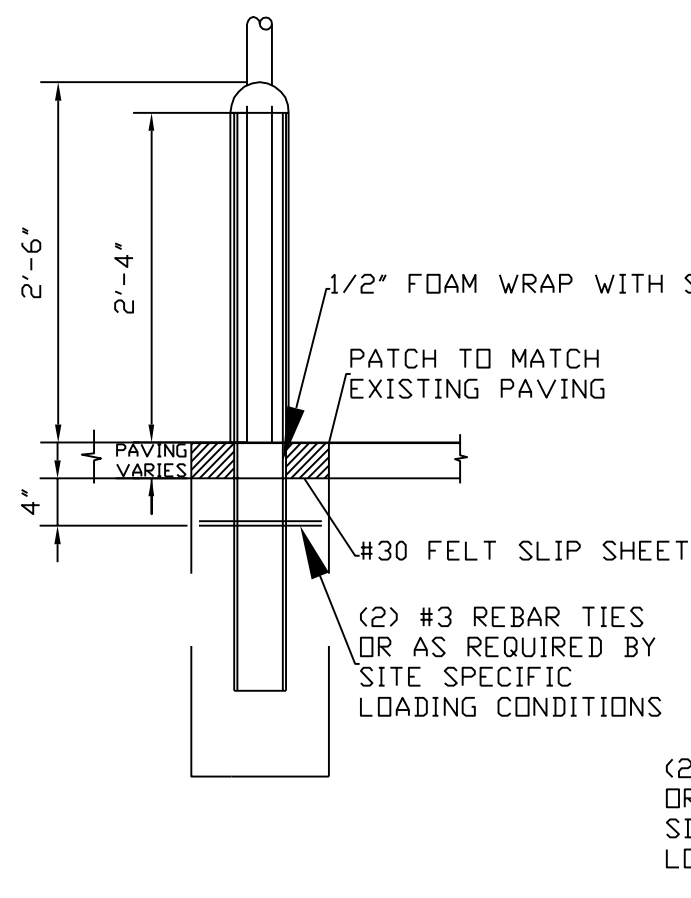
- NOTES:**
- ALL PAINT MARKINGS TO BE APPLIED TO ASPHALT WHEN OUTDOOR TEMPERATURE EXCEEDS +8' MINIMUM.
  - ALL PARKING STALL MARKINGS SHALL BE PAINTED WHITE.
  - ALL DRIVE-THRU MARKINGS SHALL BE PAINTED YELLOW (PMS123), INCLUDING 'DRIVE THRU', 'THANK YOU', ALL DIRECTIONAL ARROWS AND DRIVE THRU LANE MARKINGS. BROADCAST GLASS BEADS UNIFORMLY INTO WET PAVEMENT MARKINGS AT A RATE OF 6LB/GAL.
  - CONTACT: "PAVEMENT STENCIL COMPANY" P.O. BOX 915755, LONGWOOD, FLORIDA 32791, PHONE: 1-800-250-5547



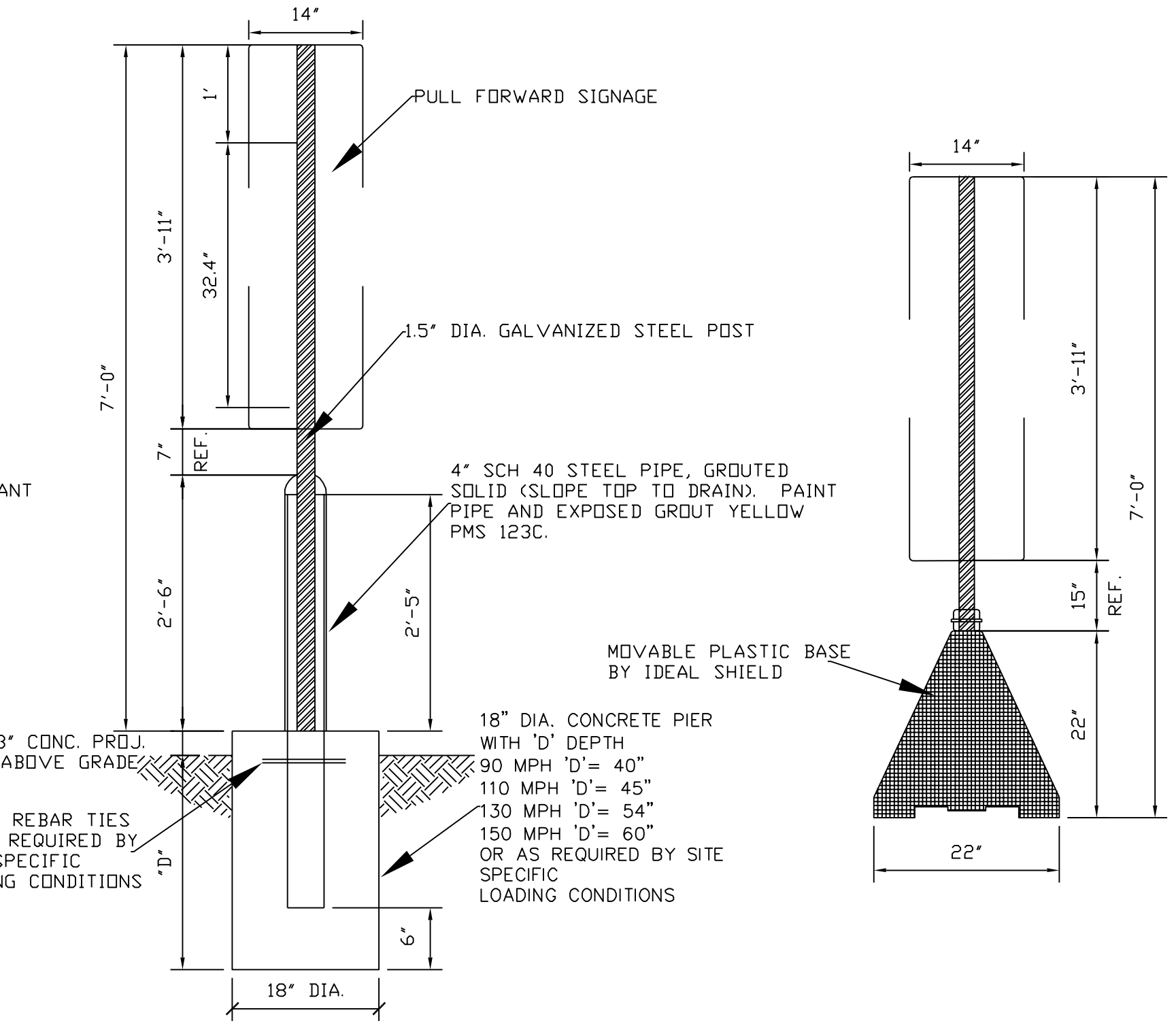
- PAVEMENT BRANDING NOTES:**
- YELLOW PAINT (PMS123) IS USED FOR ALL DRIVE-THRU MARKINGS.
  - THE WORDS 'DRIVE-THRU' AND THE CIRCLE ARROW ARE PLACED AT ALL ENTRANCES TO THE LOT APPROX. 25' TO 30' FROM THE CURB OR SIDEWALK.
  - THE WORDS 'DRIVE-THRU' SHOULD BE CENTERED IN THE DRIVEWAY FOR ONE WAY TRAFFIC (ON THE INGRESS SIDE OF THE DRIVE AISLE IF THERE IS TWO WAY TRAFFIC).
  - THE CIRCLE DIRECTIONAL ARROW SHOULD BE CENTERED ABOVE THE WORD 'DRIVE' APPROX. 5' IN TO THE PARKING LOT.
  - IF FIVE OR MORE ARROWS ARE NEEDED TO DIRECT CARS TO THE DRIVE-THRU, PLAN THE CORRECT PLACEMENT OF THE ARROWS TO INCLUDE THE APPLICATION OF THE WORDS 'DRIVE THRU' WITH AN ARROW CENTERED ABOVE THE WORD 'DRIVE,' ORIENTED TO THE DECISION POINT.
  - THE DOUBLE-HEADED ARROW FOR A SIDE-BY-SIDE DRIVE-THRU SHOULD BE POSITIONED TO DIRECT TRAFFIC TO EITHER LANE, AS CARS APPROACH TO THE ISLAND. EACH ARROW MUST BE CUSTOMIZED TO FIT THE LANE CONFIGURATION.



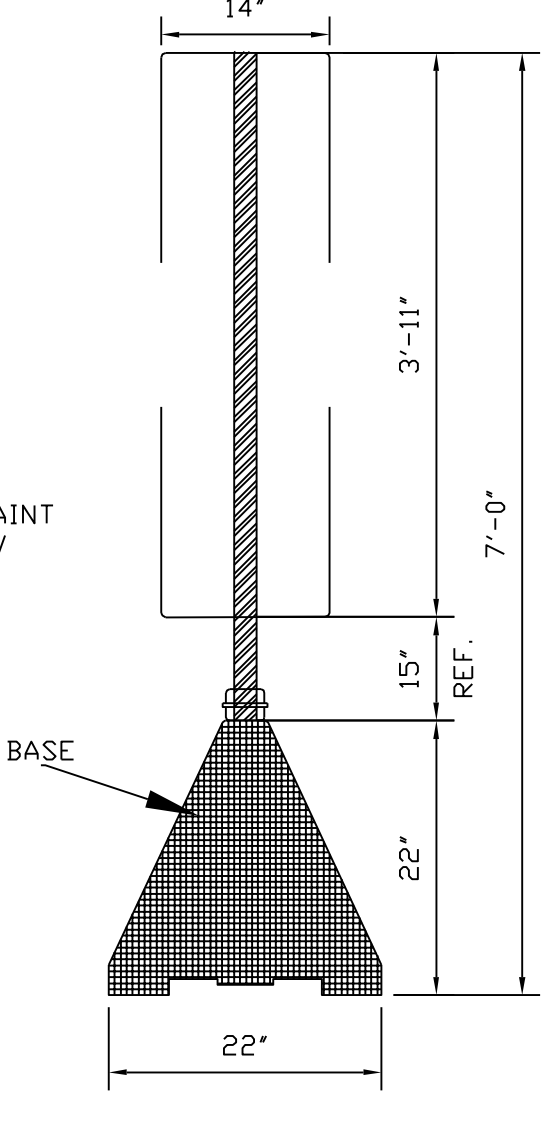
APPLY TWO COATS OF WATERBORNE PAINT (PER FS TT-P-1952) OR SOLVENT BORNE PAINT (PER FS A-A-2886 OR AASHTO M248). TRAFFIC-LANE MARKING PAINT OVER CLEANED PAVING SURFACE ACCORDING TO LAYOUT SHOWN ON THE SITE PLAN. PAINT WHITE OR AS REQUIRED BY CITY CODE.



DIRECT BURIAL IN EXISTING PAVEMENT OPTION



DIRECT BURIAL IN SOIL/ LANDSCAPING OPTION



BASE AND POST OPTION

APPROVED CONSTRUCTION PLAN	
NAME	DATE
PLANNING	
TRAFFIC	
FIRE	

1	12-01-2016	REVISION PER CITY COMMENTS		
0	9-9-2016	FIRST ISSUE		
REV	DATE	DESCRIPTION	BY	ISSUER/REF

**TOWER ENGINEERING PROFESSIONALS**  
 326 TRYON ROAD  
 RALEIGH, NC 27603  
 OFFICE: (919) 661-6351  
 www.tegroup.net  
 N.C. LICENSE # C-1794

Patton W. Christy  
 Professional Engineer  
 Seal 043770  
 State of North Carolina

December 1, 2016

**McDonald's**

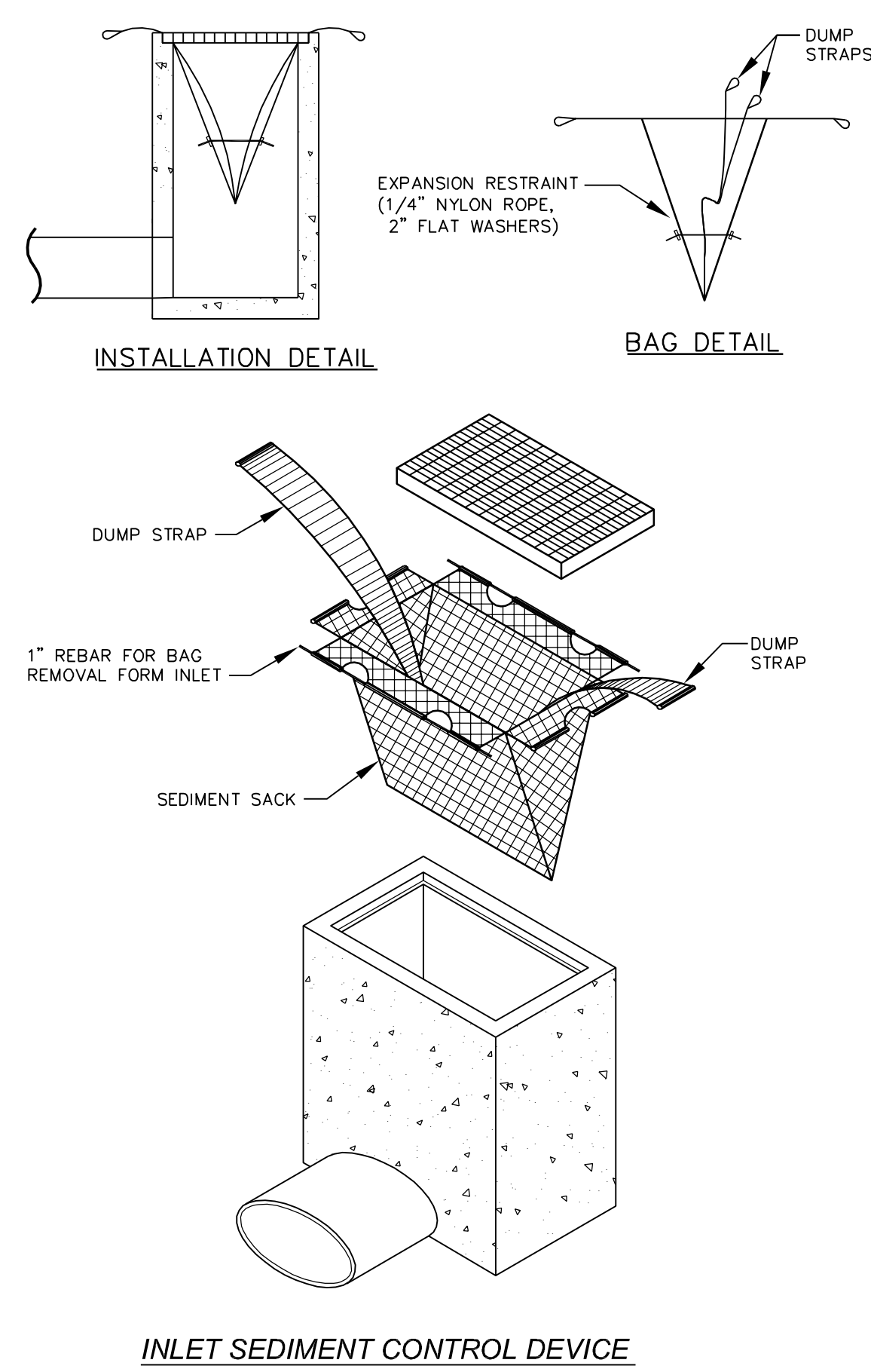
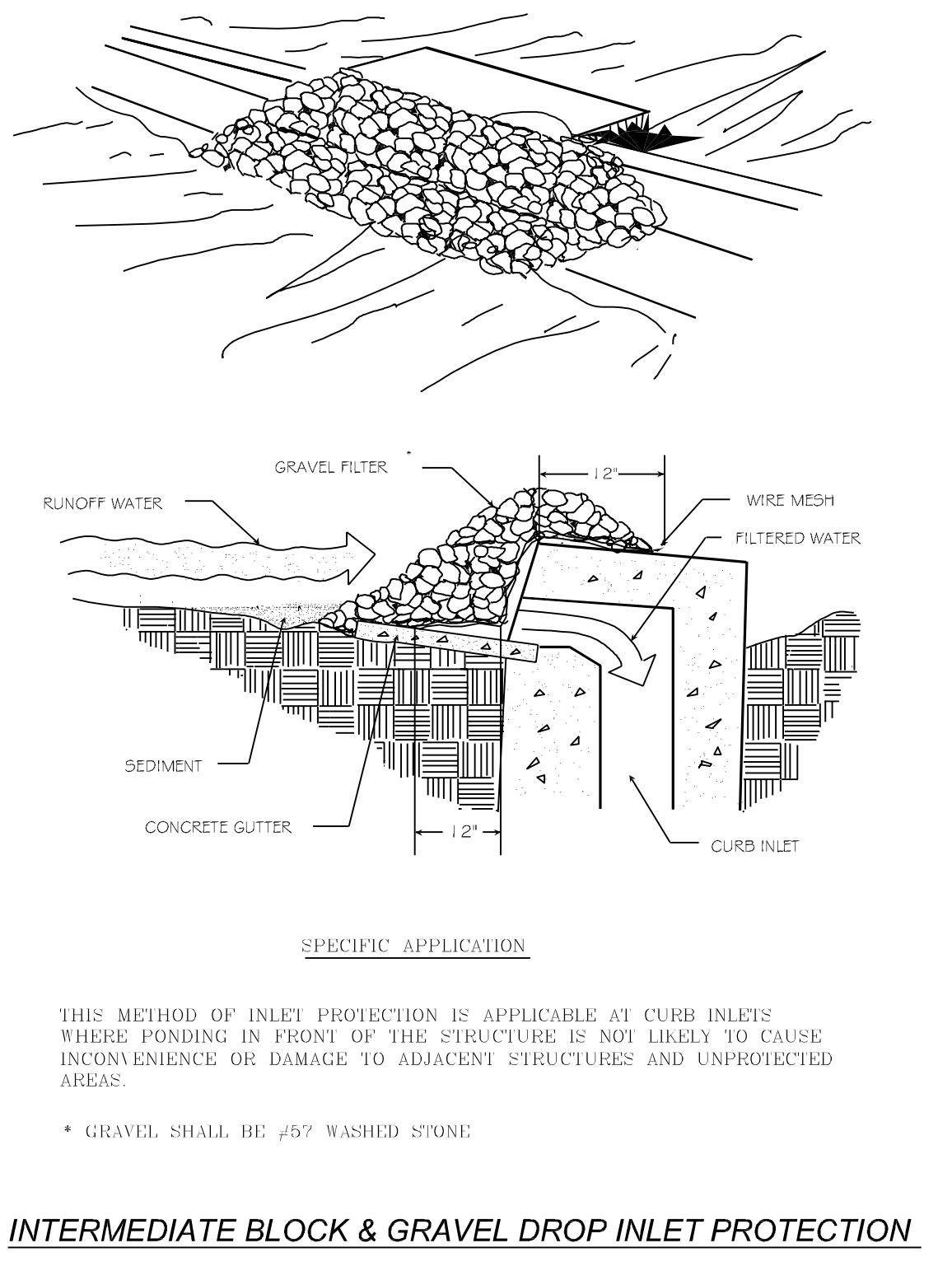
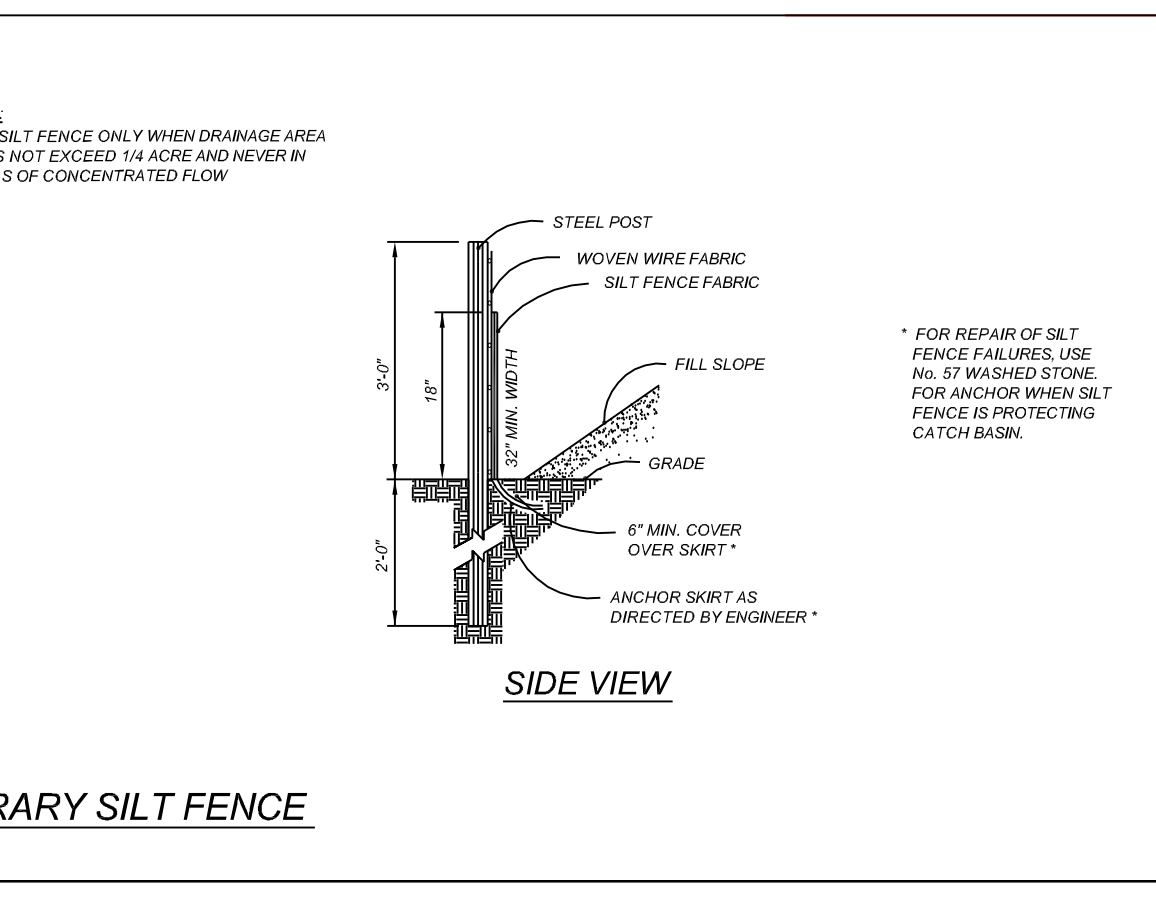
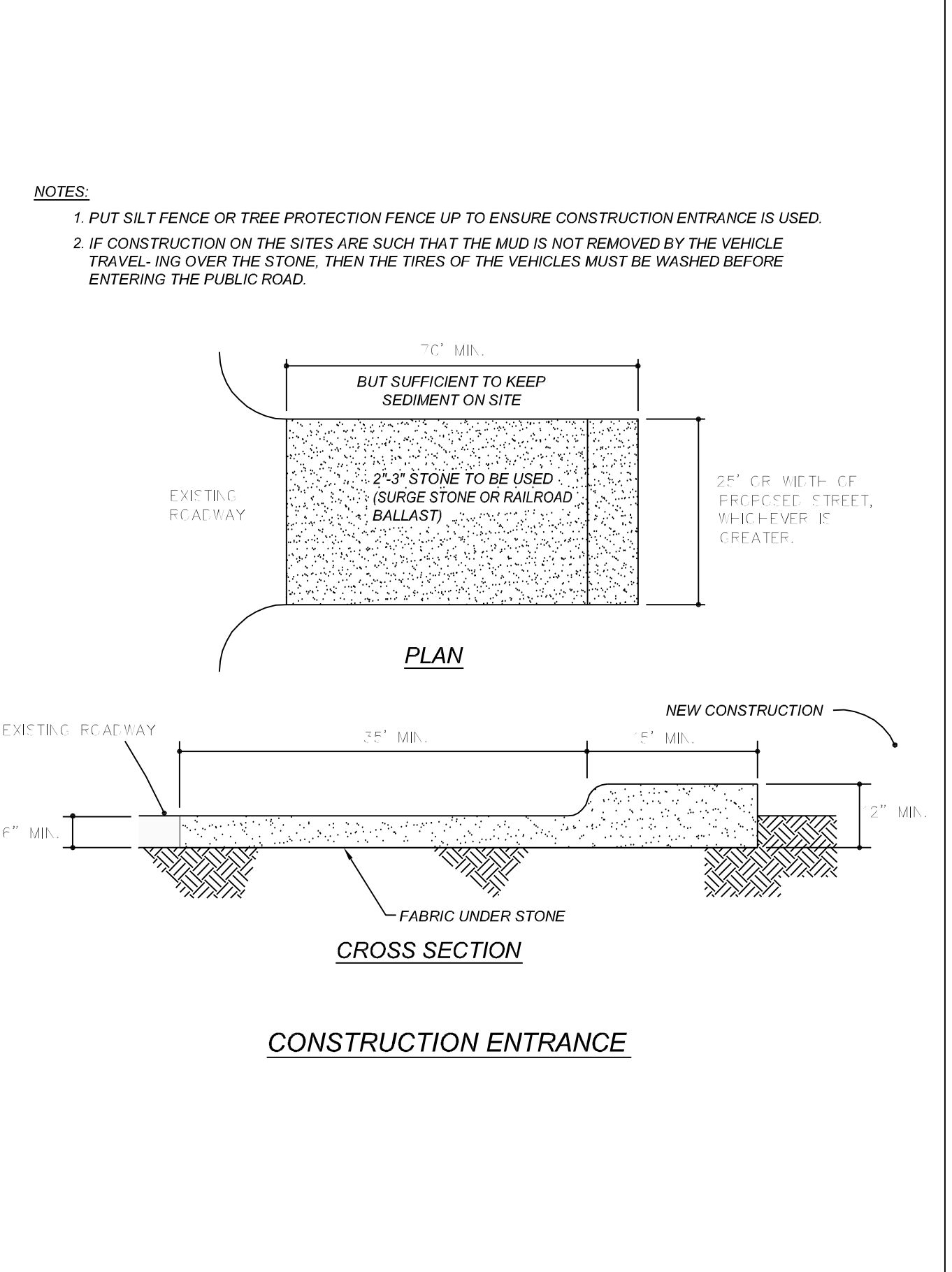
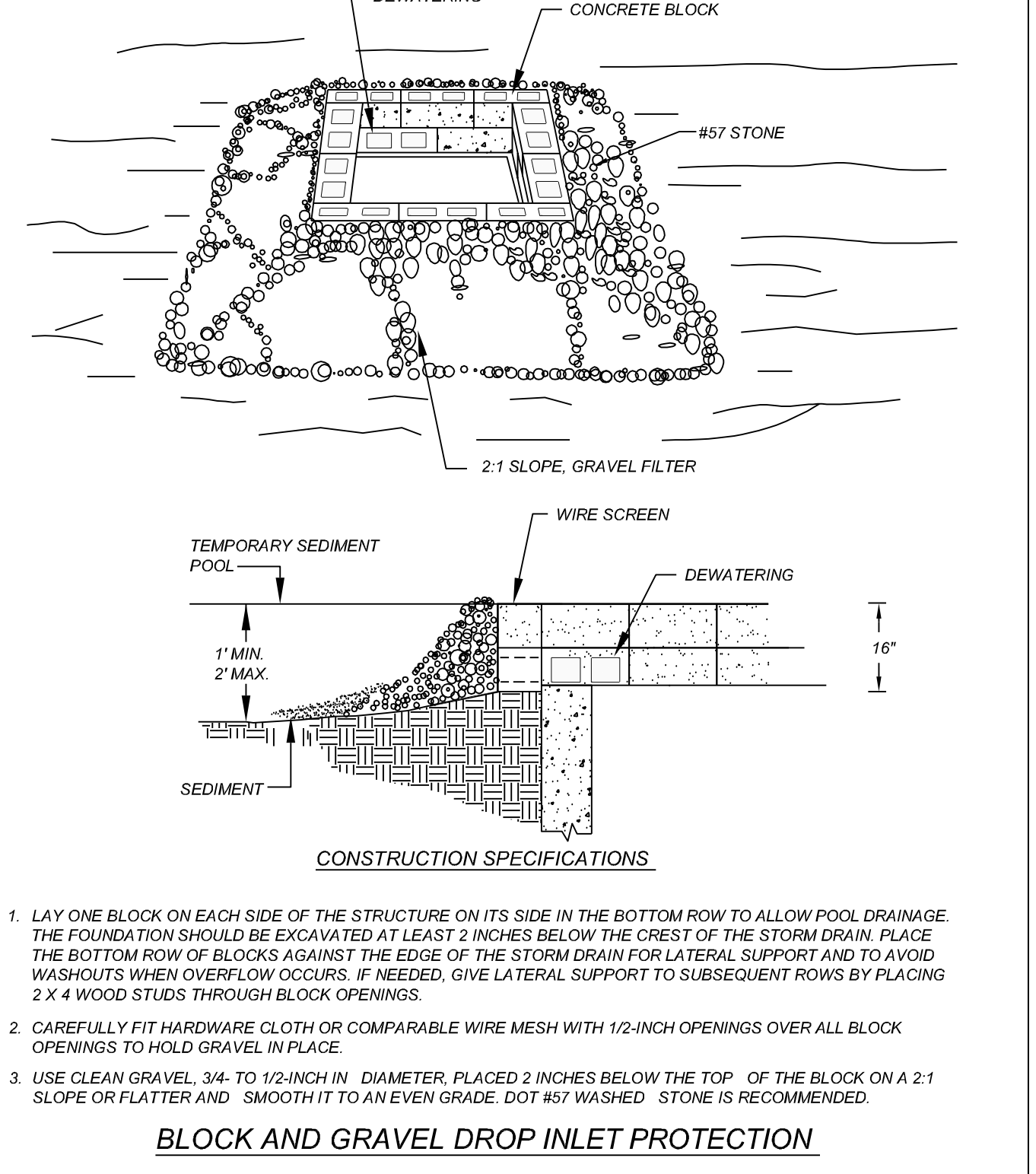
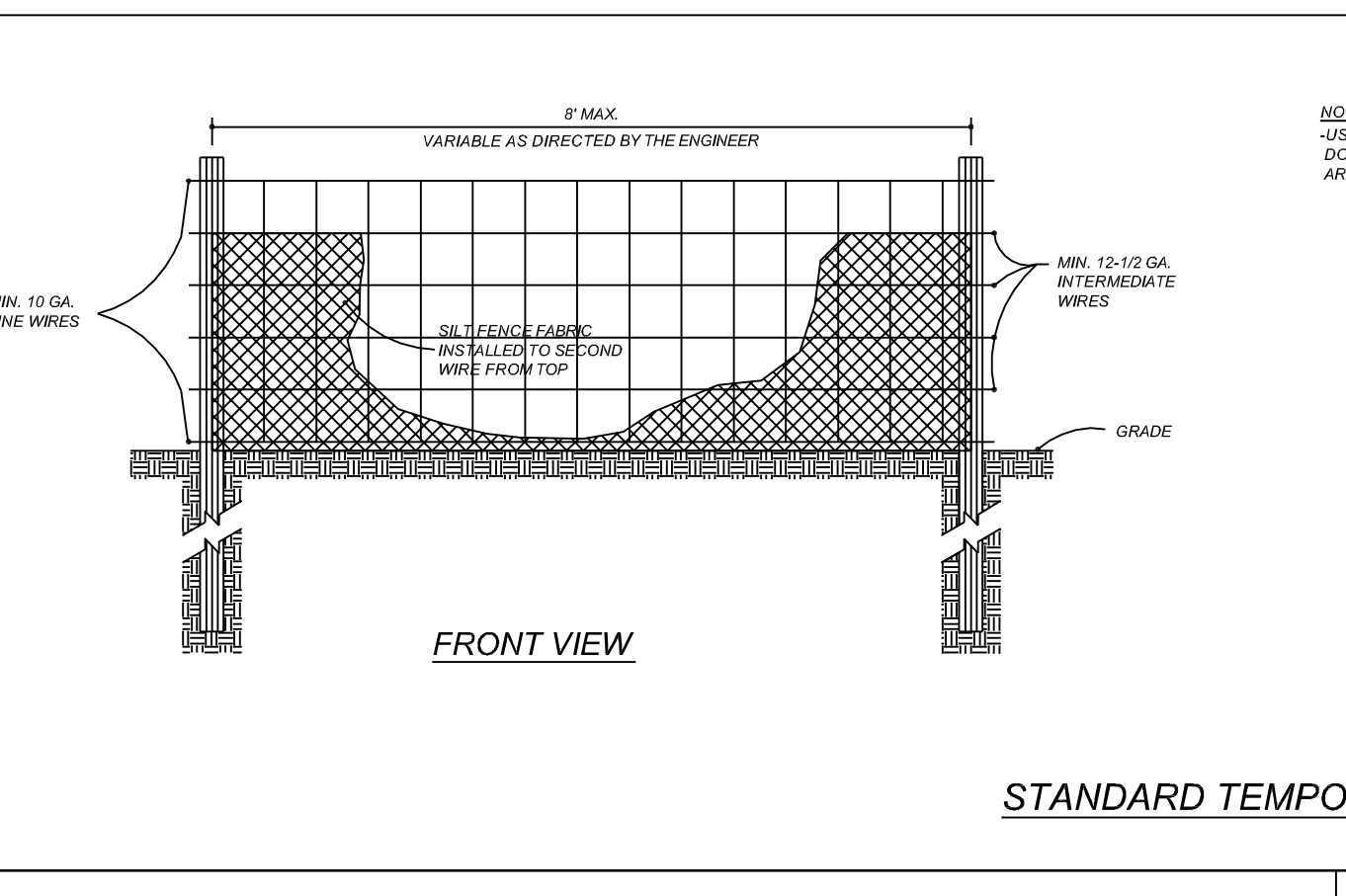
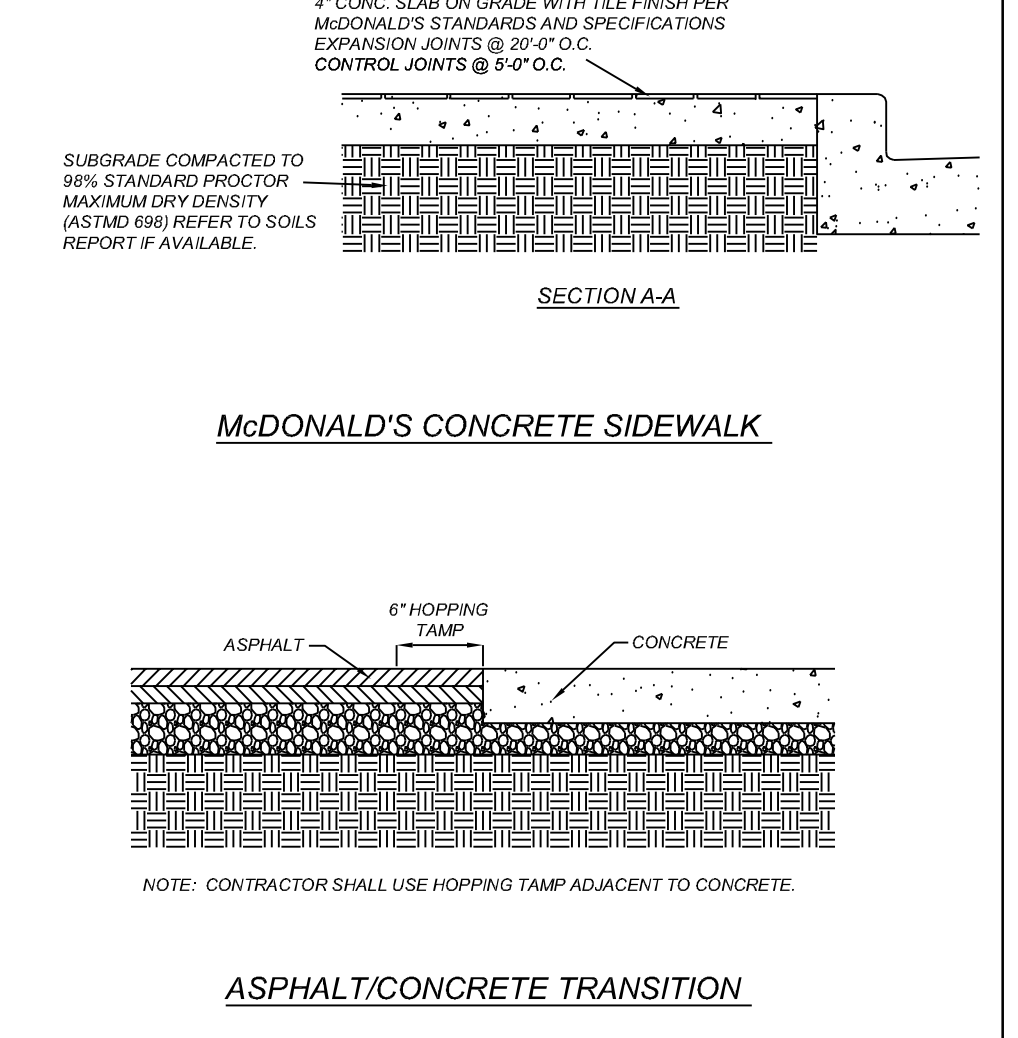
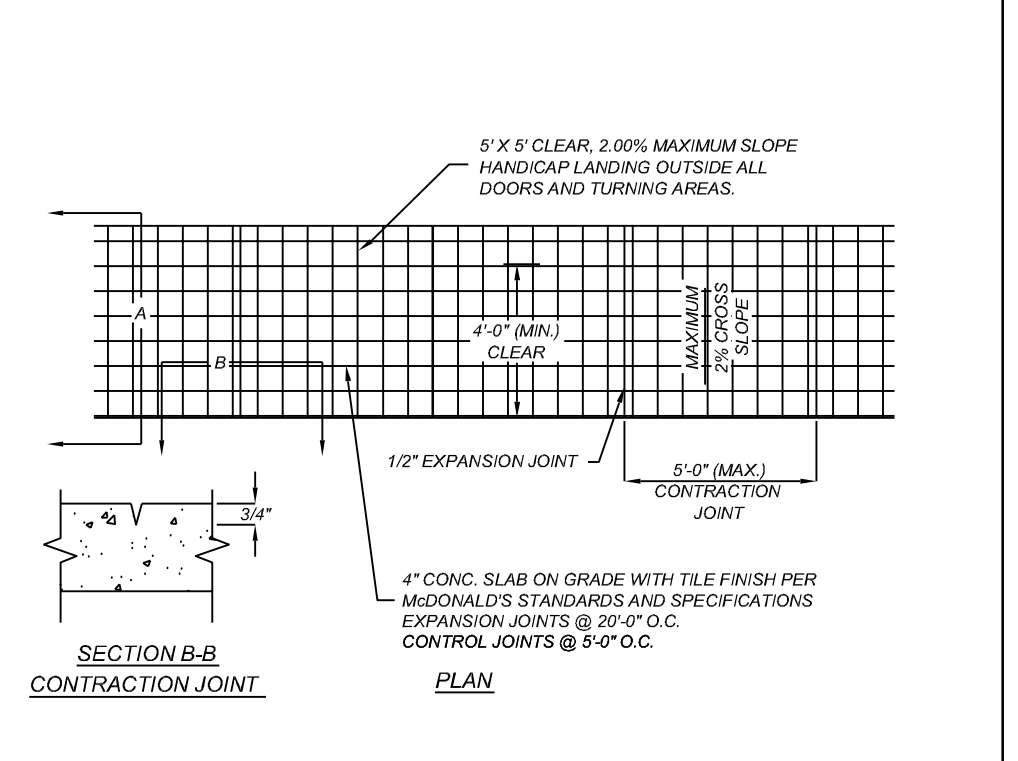
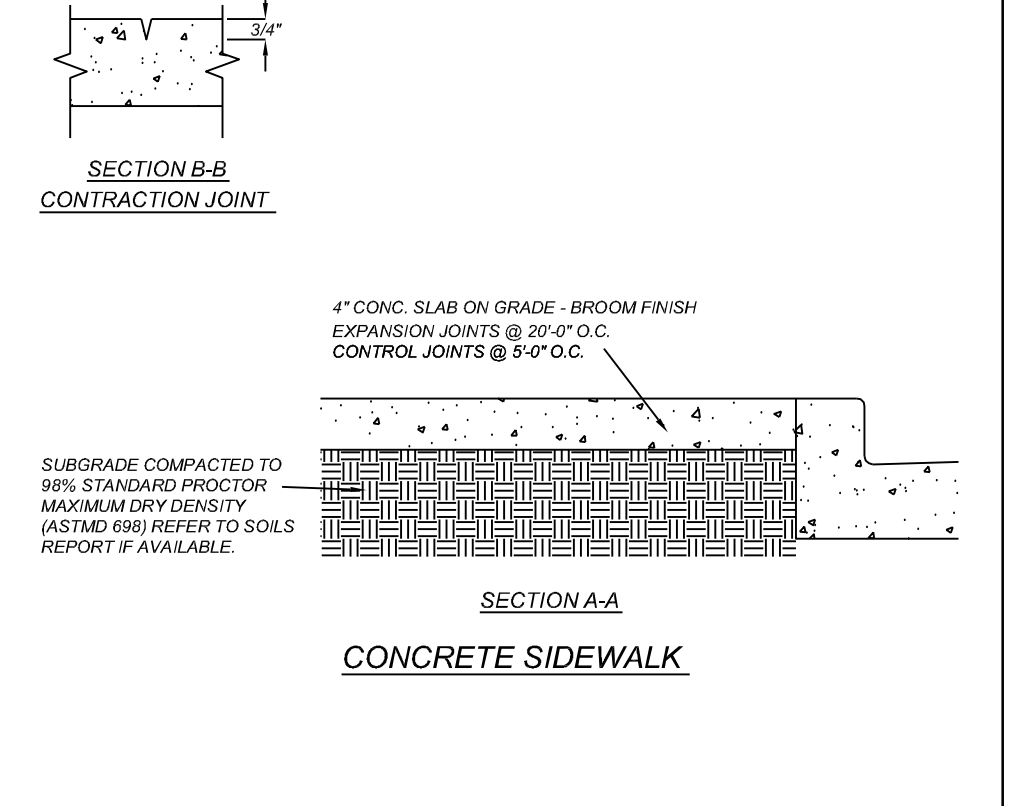
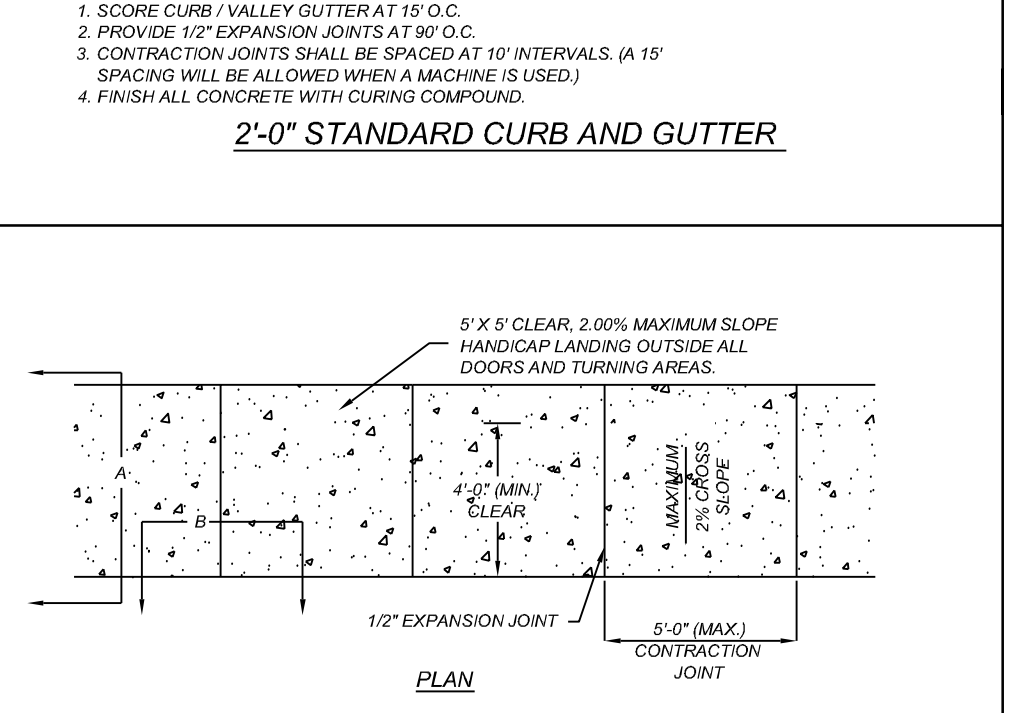
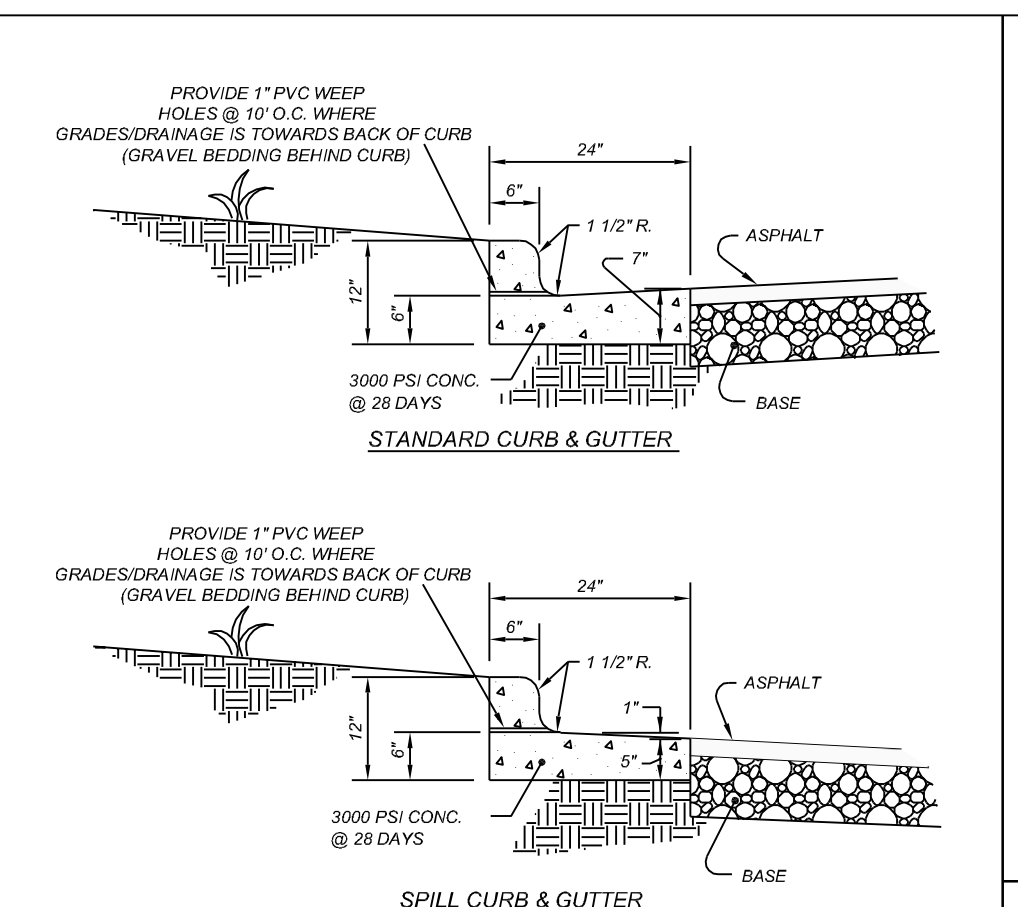
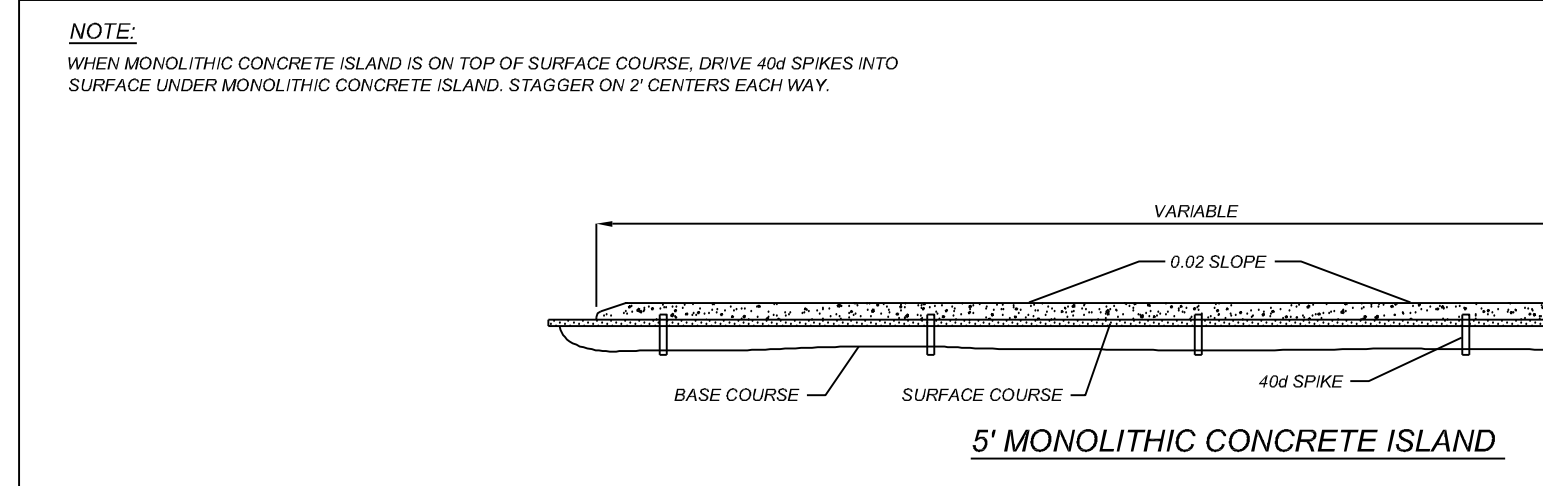
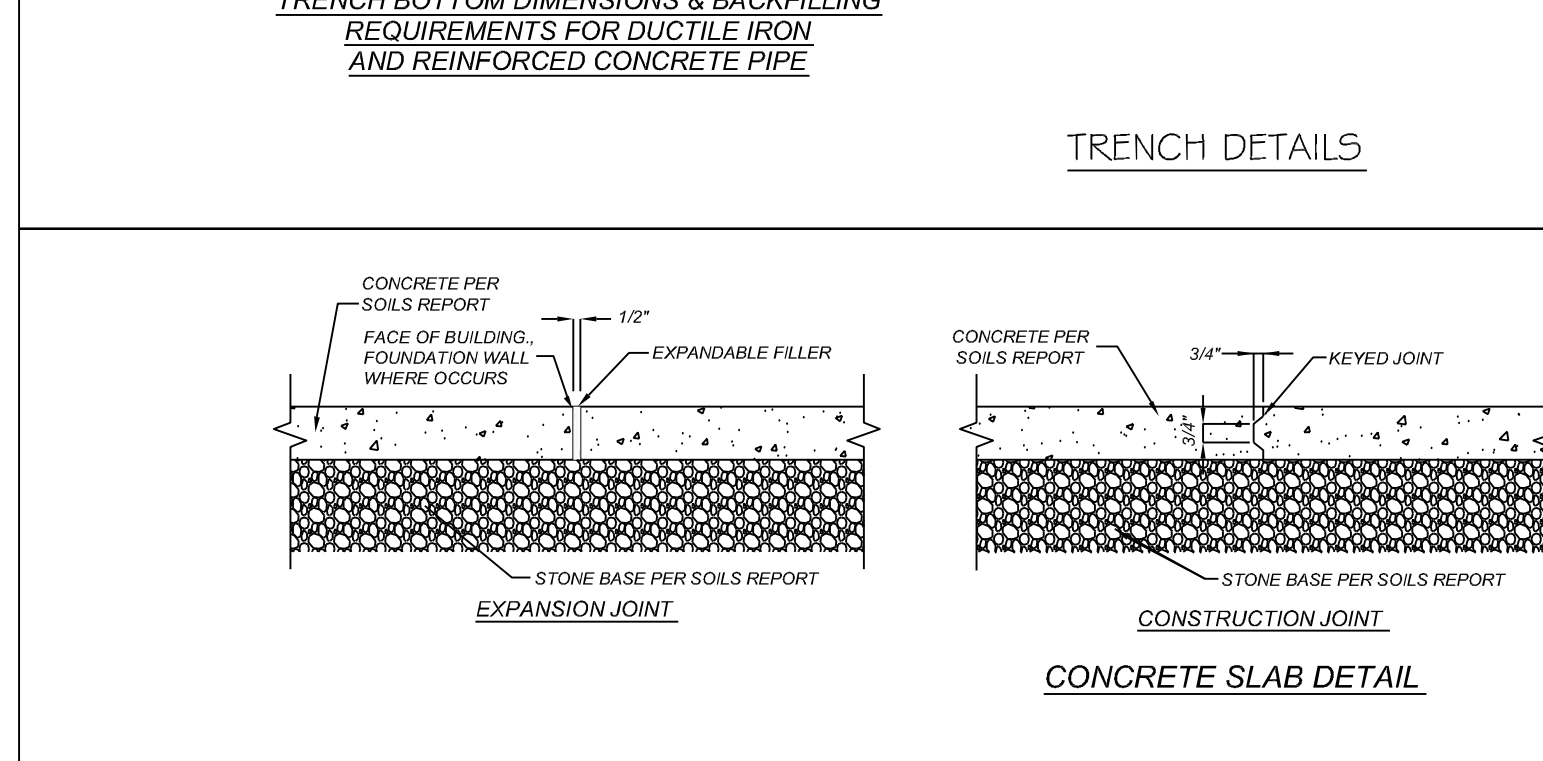
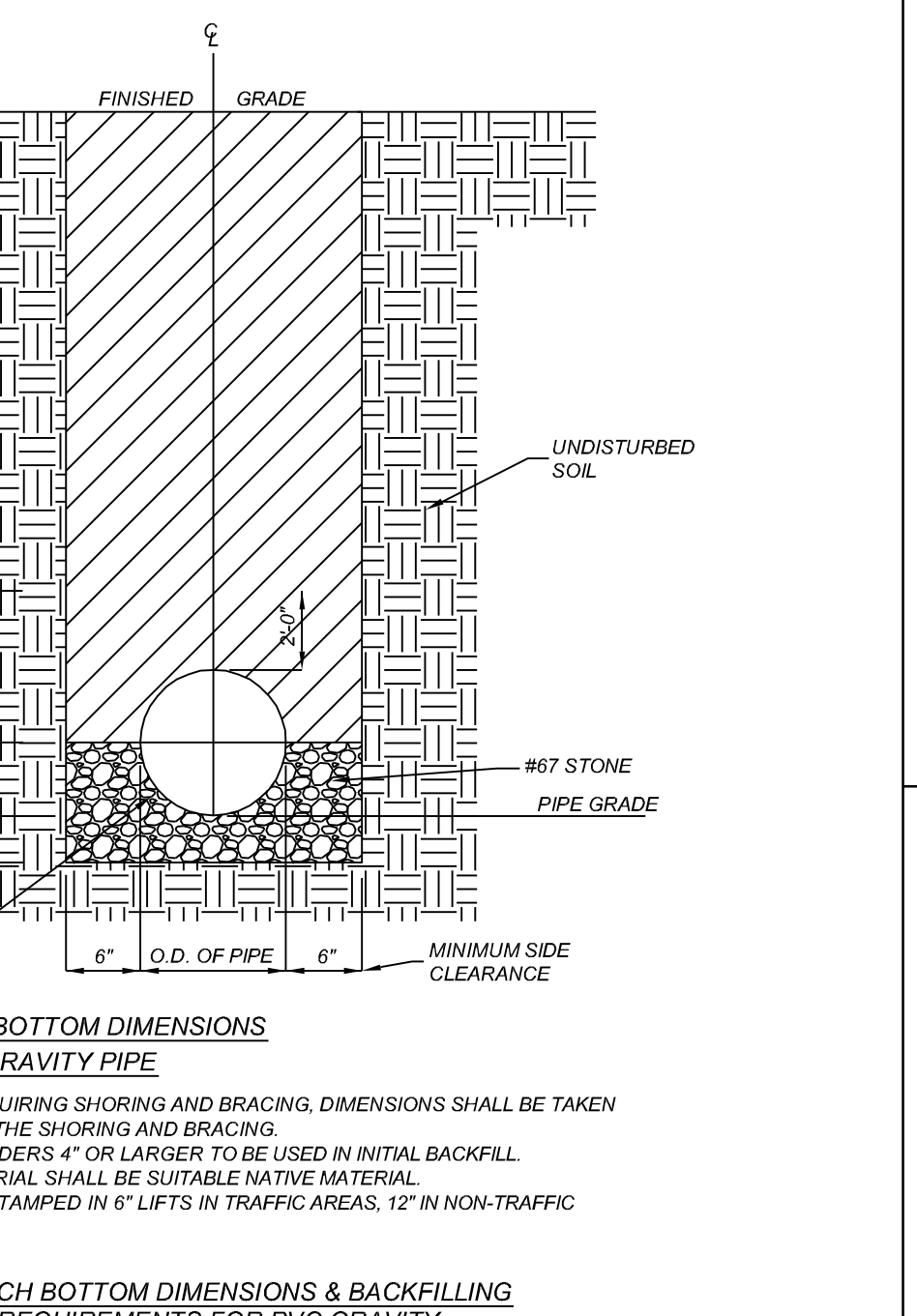
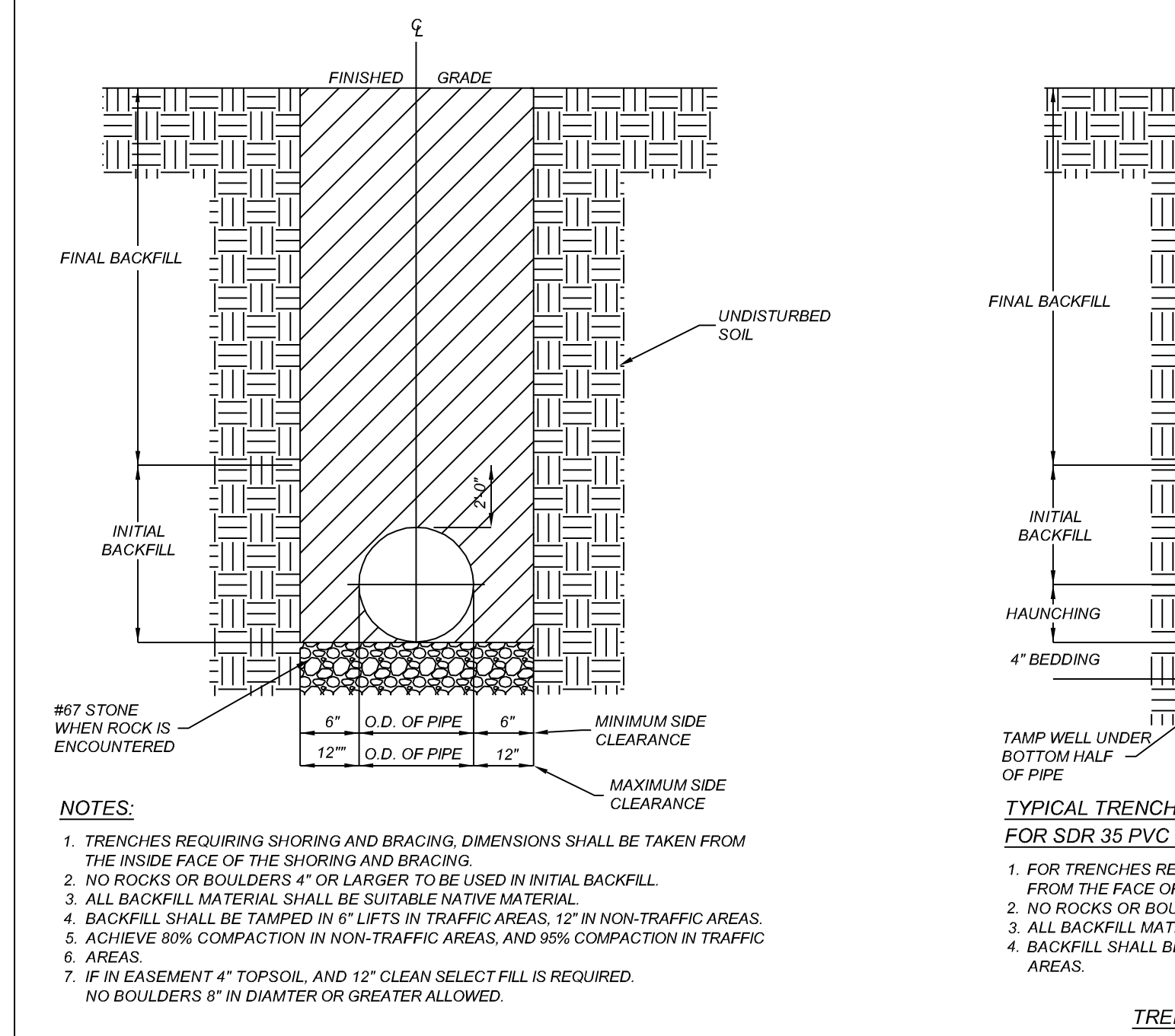
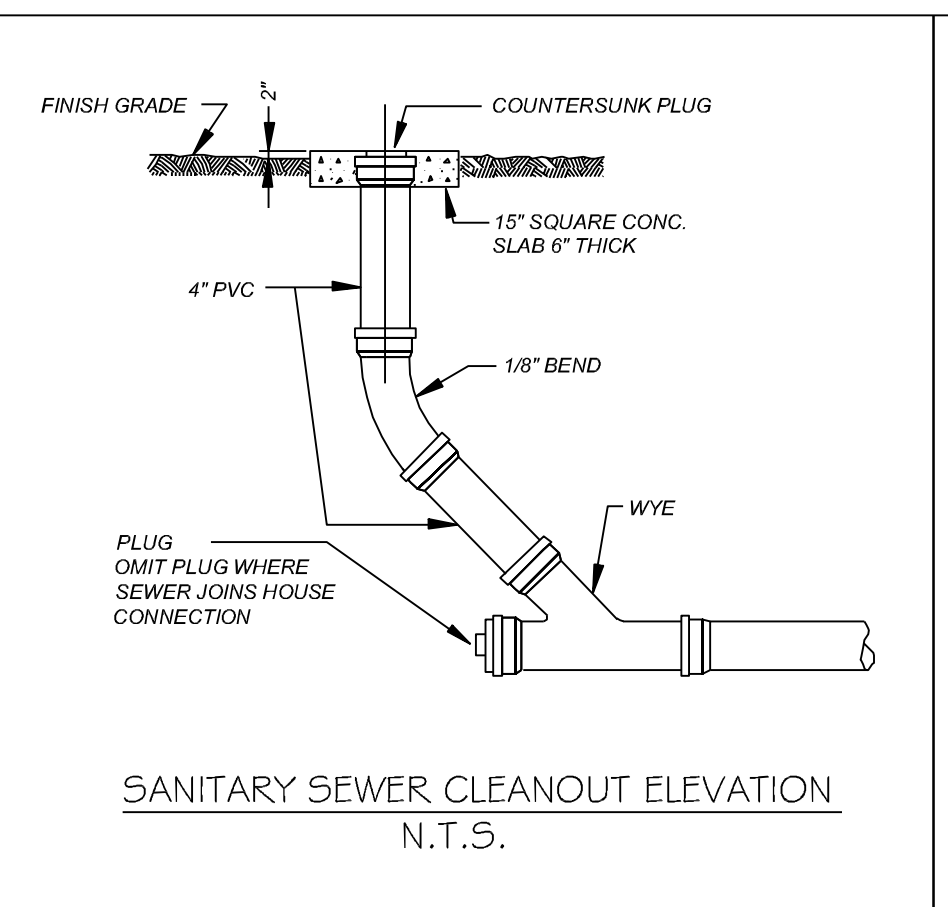
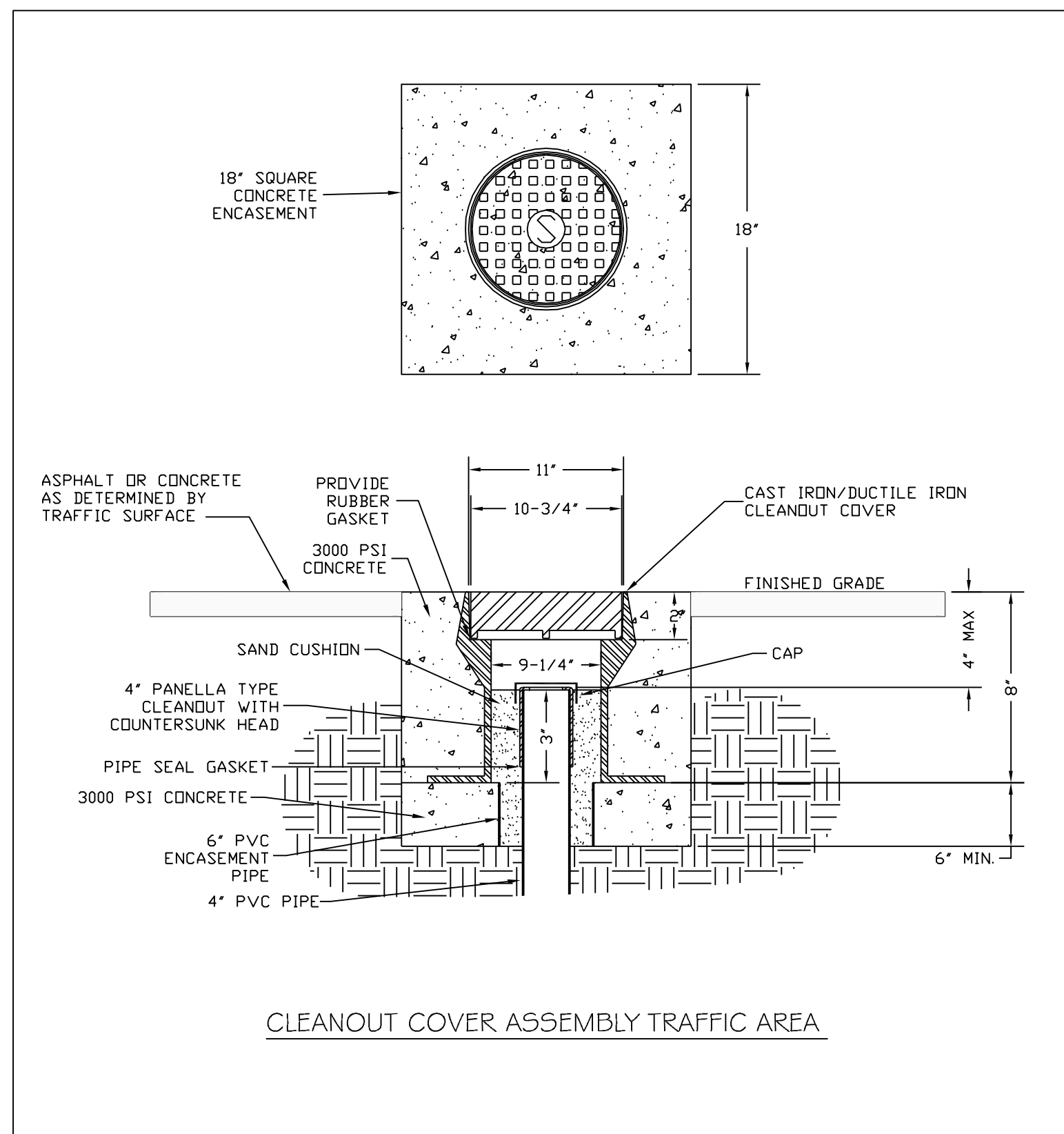
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF Mc Donald's CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION

OFFICE ADDRESS: RALEIGH REGION, 4601 SIX FORKS ROAD, SUITE 200 - RALEIGH, N.C. 27609

PLAN APPROVAL	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		FINAL	-	-
REGIONAL MGR. DIRECTOR		PLAN CHECKED	-	-
REGIONAL CONSTRUCTION MGR.		AS-BUILT	-	-
REGIONAL REAL ESTATE MGR.				
CO-SIGN SIGNATURES				
AREA CONSTRUCTION MGR.				
CONTRACTOR				

STREET ADDRESS 2702 S. COLLEGE ROAD	
CITY WILMINGTON	STATE NORTH CAROLINA
COUNTY NEW HANOVER	
PIN R06114-004-001-000	LOCATION CODE NUMBER 032-0496
TEP PID 56725	

C-6  
DRIVE THRU PLAN & DETAILS



APPROVED CONSTRUCTION PLAN				
NAME	DATE			
PLANNING				
TRAFFIC				
FIRE				
Public Services Engineering Division				
APPROVED DRAINAGE PLAN				
Date: _____	Permit # _____			
Signature: _____				
REV	DATE	DESCRIPTION	BY	ISSUE/REV
1	12-01-2016	REVISION PER CITY COMMENTS		
0	9-9-2016	FIRST ISSUE		

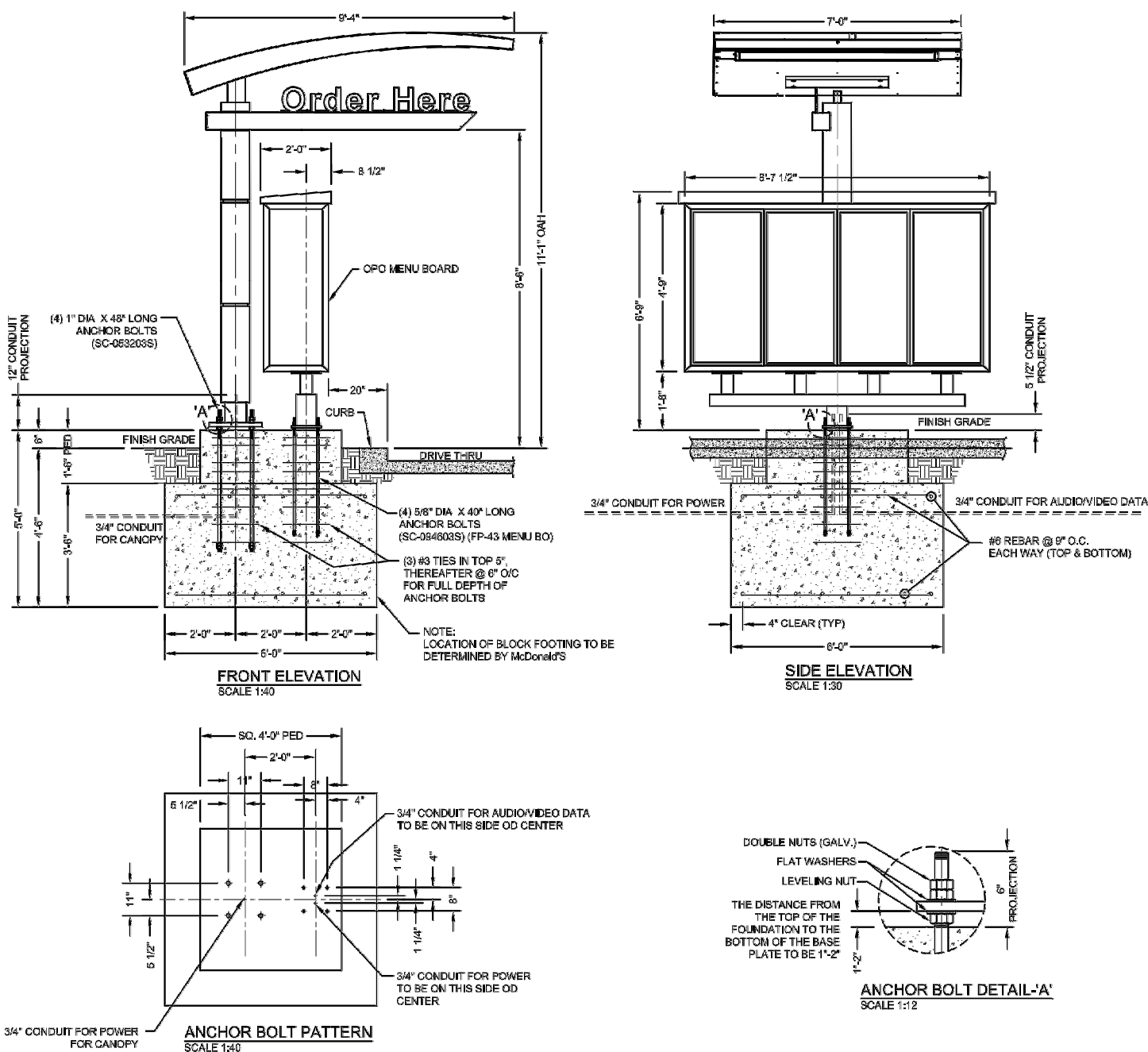
TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

PAUL W. CHIDOCKY  
PROFESSIONAL ENGINEER  
STATE OF NORTH CAROLINA  
LICENSE NO. 043770

December 1, 2016  
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.  
REGIONAL MGR. DIRECTOR  
REGIONAL CONSTRUCTION MGR.  
REGIONAL REAL ESTATE MGR.  
CO-SIGN SIGNATURES  
AREA CONSTRUCTION MGR.  
CONTRACTOR

DATE	STATUS	DATE	BY
	FINAL	-	-
	PLAN CHECKED	-	-
	AS-BUILT	-	-

C-7  
DETAILS



**GENERAL NOTES**

INSTALLER TO PROVIDE COMPLETION PHOTO OF FOUNDATION WITH ANCHOR BOLTS, REBAR & CONDUIT BEFORE & AFTER POLE, BASE PLATE, HANGAR BOLT CONNECTIONS, GROUT INSTALLATION, MATCH PLATE/SIGN CONNECTIONS, ANY WELDED CONNECTIONS, ELECTRICAL WIRING AND OVERALL BEAUTY.

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 300 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

INSTALLER TO BE SURE SIGNS ARE PROPERLY INSTALLED, CONNECTED AND GROUNDED.

LANDSCAPING MATERIALS SHOULD BE KEPT MINIMUM TWO INCHES AWAY FROM SIGN POLES OR BASE PLATES.

THIS DRAWING IS FOR INSTALLATION PURPOSES ONLY AND NOT TO BE USED FOR MANUFACTURING.

**CONCRETE REPAIRS/NOTES**

ALL CRACKS, TOTAL, CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS. REPAIRING CRACKS SHALL HAVE A MIN. YIELD STRENGTH OF #300 PSI. RECOMMENDED MIN. CURE TIME OF 7 DAYS BEFORE PROCEEDING WITH INSTALLATION.

**REINFORCING BARS**

ANY REINFORCING BARS TO BE COMPLETED BY AN AWS CERTIFIED WELDER QUALIFIED IN THE APPLICABLE POSITION(S) NEEDED.

**FOUNDATION**

SIGN POLES AND CONCRETE FOUNDATION ARE DESIGNED TO WITHSTAND A WIND LOAD OF 27 PSF.

CONCRETE FOUNDATION DESIGNED USING A NET ALLOWABLE SOLE BEARING PRESSURE OF 2000 PSF. IF THESE SOIL CONDITIONS DO NOT EXIST AT THE FOUNDATION LOCATION, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ENGINEER, LLC PRIOR TO REPAIRING FOOTING FOUNDATION OR ANY CONCRETE PLACEMENT.

**FOUNDATION REPAIRS/NOTES**

- REMOVE FOUNDATION AREA AND CONFORM FINAL GRADE REQUIREMENTS WITH D.C.
- EXCAVATE FOUNDATION AREA.
- SET ANCHOR BOLTS, REBAR AND CONDUIT STUBS, PRIMARY ELECTRICAL SERVICE TO MATCH BY D.C.
- POUR CONCRETE ALLOW CONCRETE CURE TIME AS REQUIRED. RECOMMENDED MIN. CURE TIME OF 7 DAYS BEFORE PROCEEDING WITH INSTALLATION.
- ANCHOR BOLTS/REBAR AS SHOWN IN DETAIL. CHECK FOR PLUMB.
- WEIGHT SIGNAGE TO POLES, INSTALLED TO PROVIDE HINGE BETWEEN SIGN AND BASE OF POLE.
- WAVE FINAL ELECTRICAL HOUSING, ALL ELECTRICAL TO MEET LOCAL CODES.
- TEST SIGNAGE FOR PROPER FUNCTION AND LIGHTING.
- REMOVE ANY LEFT OVER BRACKETS AND REMANENT BOLTS.
- CLEAN UP AREA AND REMOVE ANY PACKING MATERIAL. DO NOT DISCARD ANY MATERIAL OR DEBRIS INTO ON SITE DUMPSTERS.

**REBAR/ANCHOR BOLTS**

- ALL ANCHOR BOLTS & NUTS
- ANCHOR BOLTS & NUTS

**INSTALLER TO PROVIDE**

- ALL ELECTRICAL COMPONENTS PER D.C.
- FOUNDATION

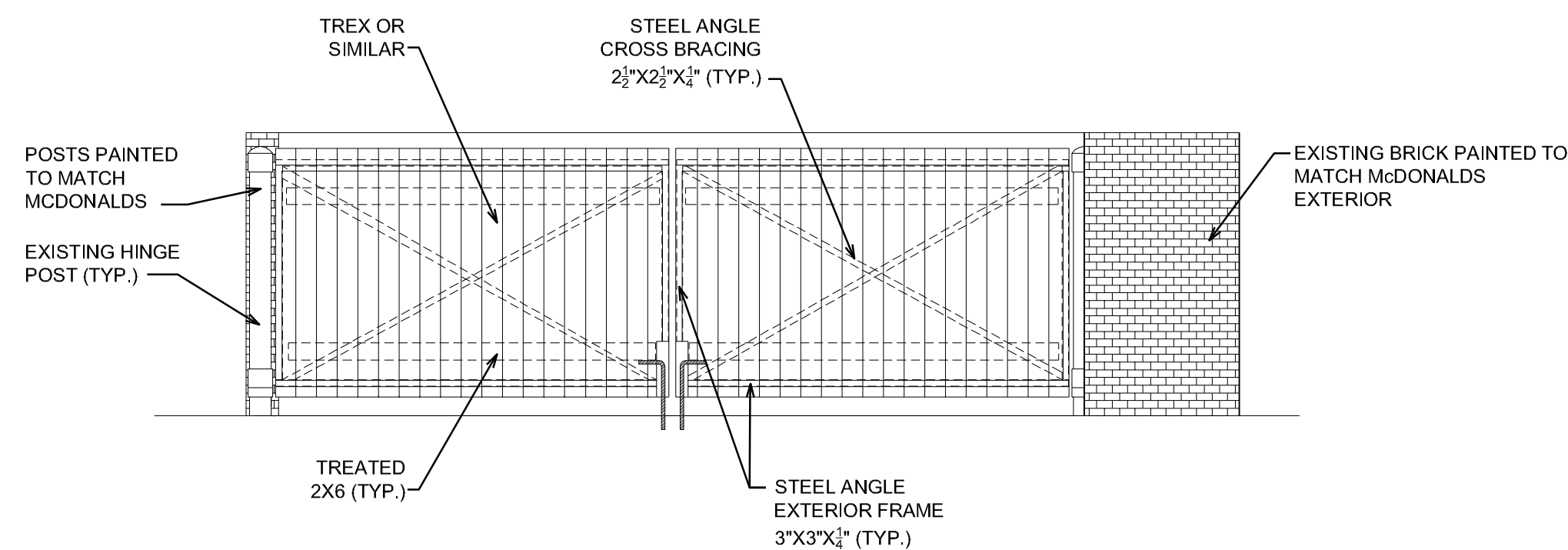
**GENERAL CONTRACTOR TO PROVIDE**

PERMANENT WIRING FROM BUILDING TO SIGN

**NOTE:**

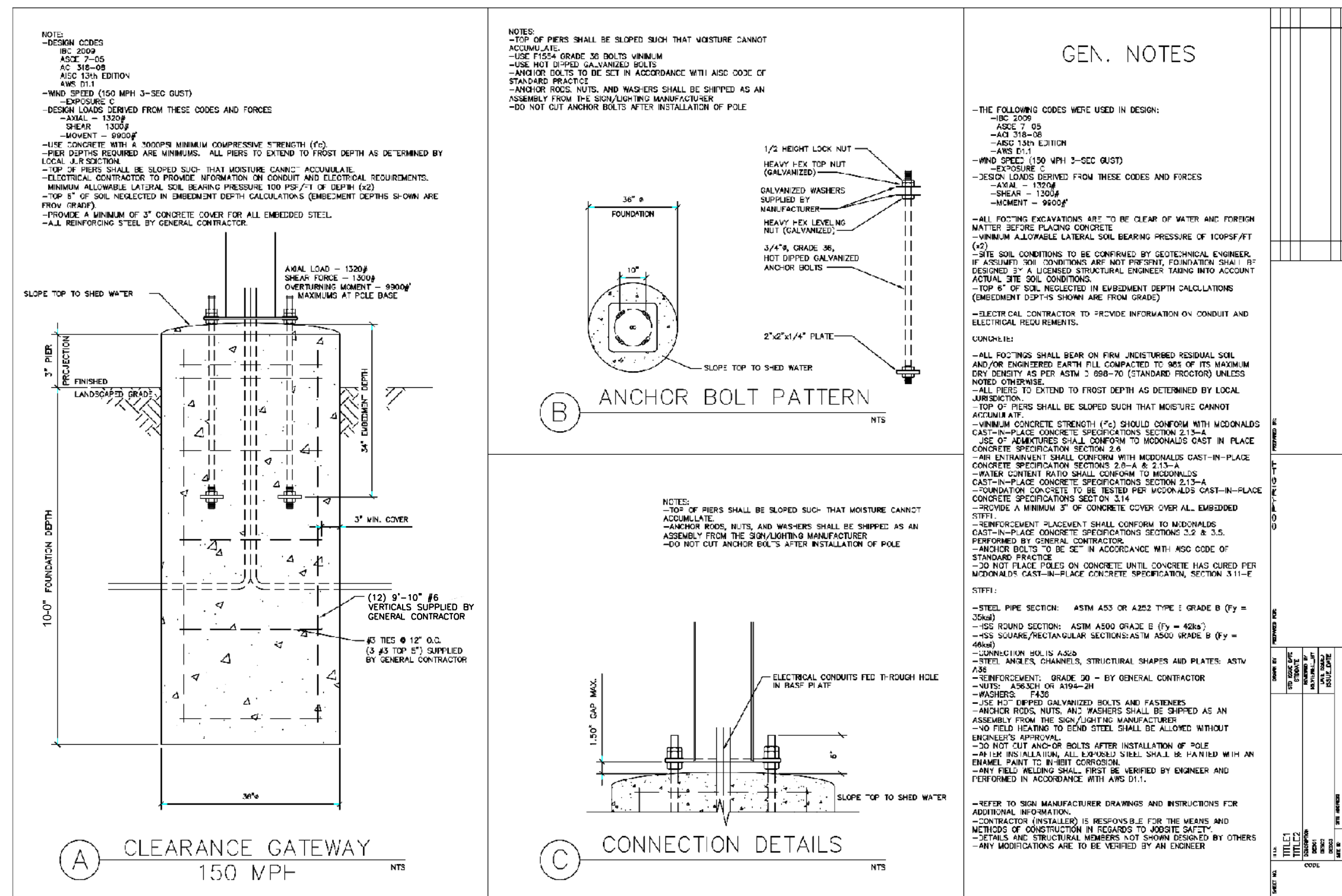
TO AVOID 90° CLEARANCE TO GRADE, THE POLE HAS BEEN DESIGNED TO ACCOUNT FOR 1" OR 2" CURB. ANY VARIATION TO THE ACTUAL PLACEMENT OF THE CANOPY WILL REQUIRE SOME MODIFICATION TO THE FOOTING TO INSURE THAT THE 90° CLEARANCE IS MAINTAINED AS RESPONSIBILITY OF THE CONTRACTOR.

<p>EVERBRITE 4000 S.W. 110TH ST. PO BOX 2822 GREENWICH, GA 30339 404-299-0000</p>	<p><b>INSTALLATION DRAWING</b></p> <p>THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF EVERBRITE, LLC. NO COPY OR REPRODUCTION OF ANY KIND IS TO BE MADE WITHOUT THE WRITTEN PERMISSION OF EVERBRITE, LLC. EVERBRITE, LLC IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.</p>	<p>DATE: 09/23/15</p> <p>CHECKED BY: RHB</p> <p>DATE: 06/24/15</p>	<p>DATE: 09/23/15</p> <p>CHECKED BY: RHB</p> <p>DATE: 06/24/15</p>	<p>SCALE: AS SHOWN</p>	<p>TITLE: McDonald's SINGLE POLE CANOPY INSTALLATION W/PO-4</p> <p>PROJECT NO: 335571</p> <p>DRAWING NO: IN335571S</p> <p>REV: C</p>									
	<p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>12/01/2016</td> <td>REVISION PER CITY COMMENTS</td> </tr> <tr> <td>0</td> <td>9-9-2016</td> <td>FIRST ISSUE</td> </tr> </table>	NO.	DATE	DESCRIPTION	1	12/01/2016	REVISION PER CITY COMMENTS	0	9-9-2016	FIRST ISSUE	<p>BY: ISSUER/REV</p>	<p>DATE</p>	<p>DESCRIPTION</p>	<p>REV</p>
NO.	DATE	DESCRIPTION												
1	12/01/2016	REVISION PER CITY COMMENTS												
0	9-9-2016	FIRST ISSUE												



**TRASH CORRAL FENCE AND GATE**

SCALE: 1/4" = 1'-0"



1	12-01-2016	REVISION PER CITY COMMENTS	BY: ISSUER/REV
0	9-9-2016	FIRST ISSUE	DATE

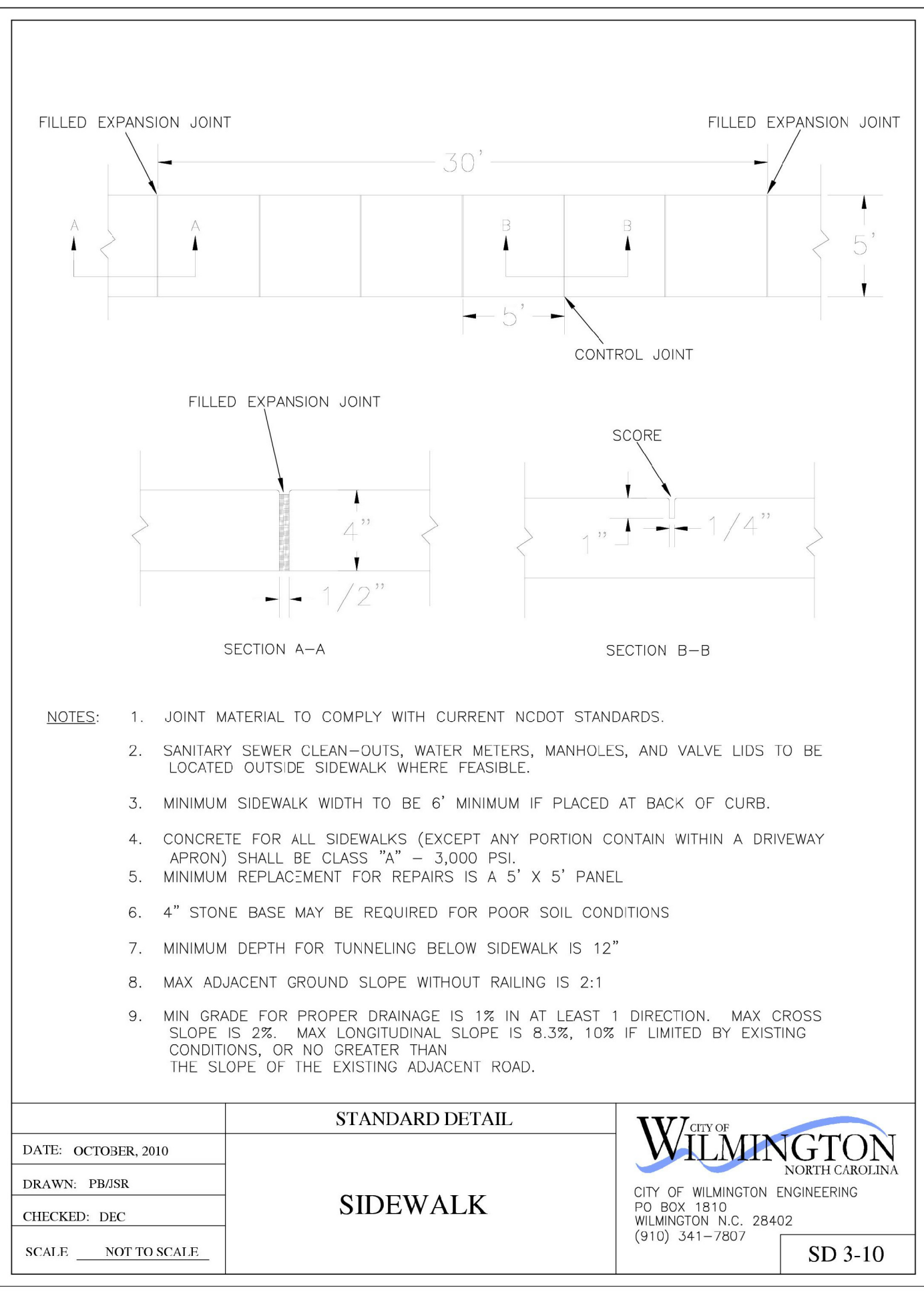
TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # C-1794

NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 043770 MATTHEW CAPUTO

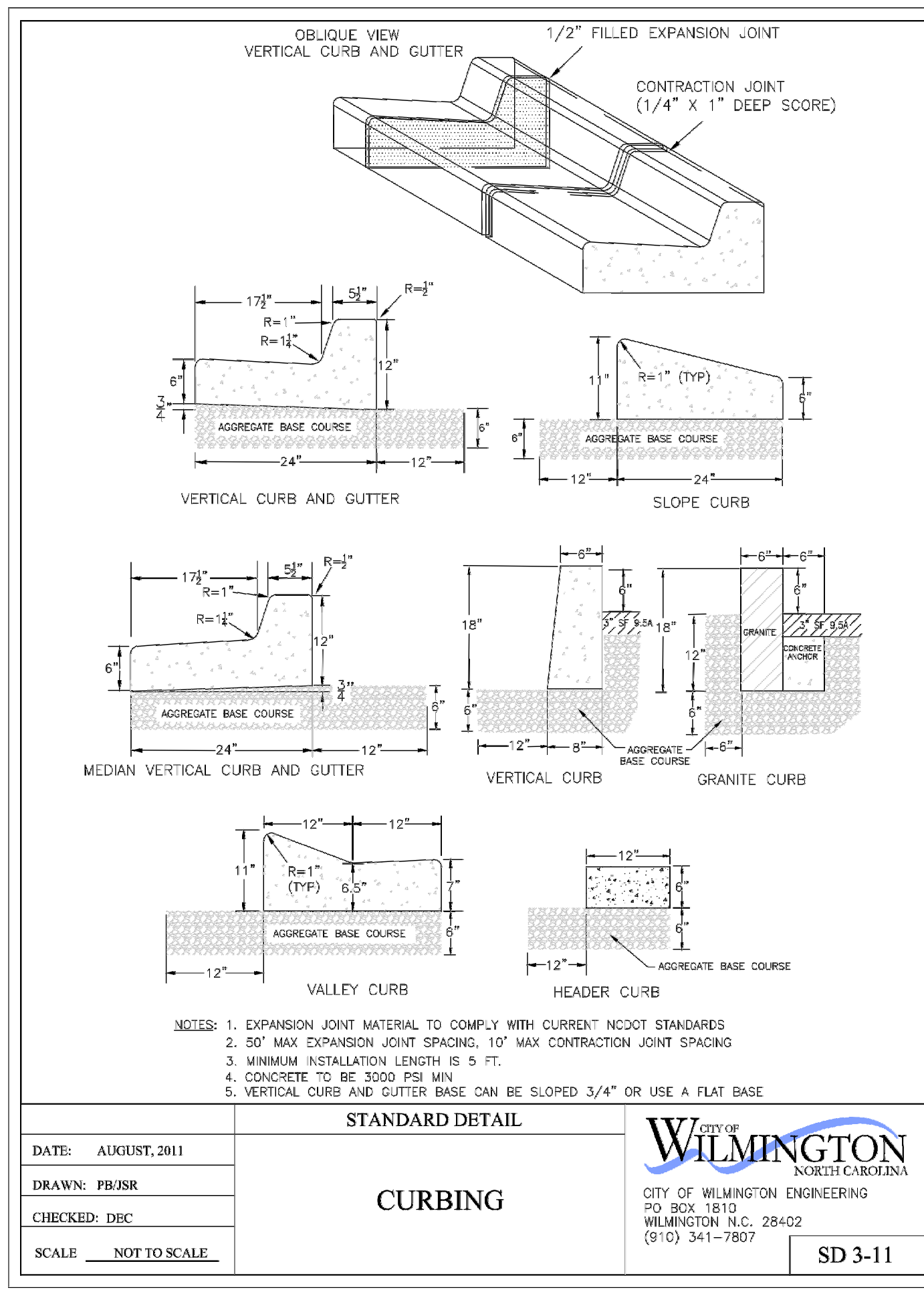
December 1, 2016  
**McDonald's**  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.  
OFFICE: RALEIGH REGION  
ADDRESS: 4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

PLAN APPROVAL SIGNATURE (2 REQUIRED)	DATE	
REGIONAL MGR. DIRECTOR		
REGIONAL REAL ESTATE MGR.		
CO-SIGN SIGNATURES		
AREA CONSTRUCTION MGR.		
CONTRACTOR		
STATUS	DATE	BY
FINAL	-	-
PLAN CHECKED	-	-
AS-BUILT	-	-

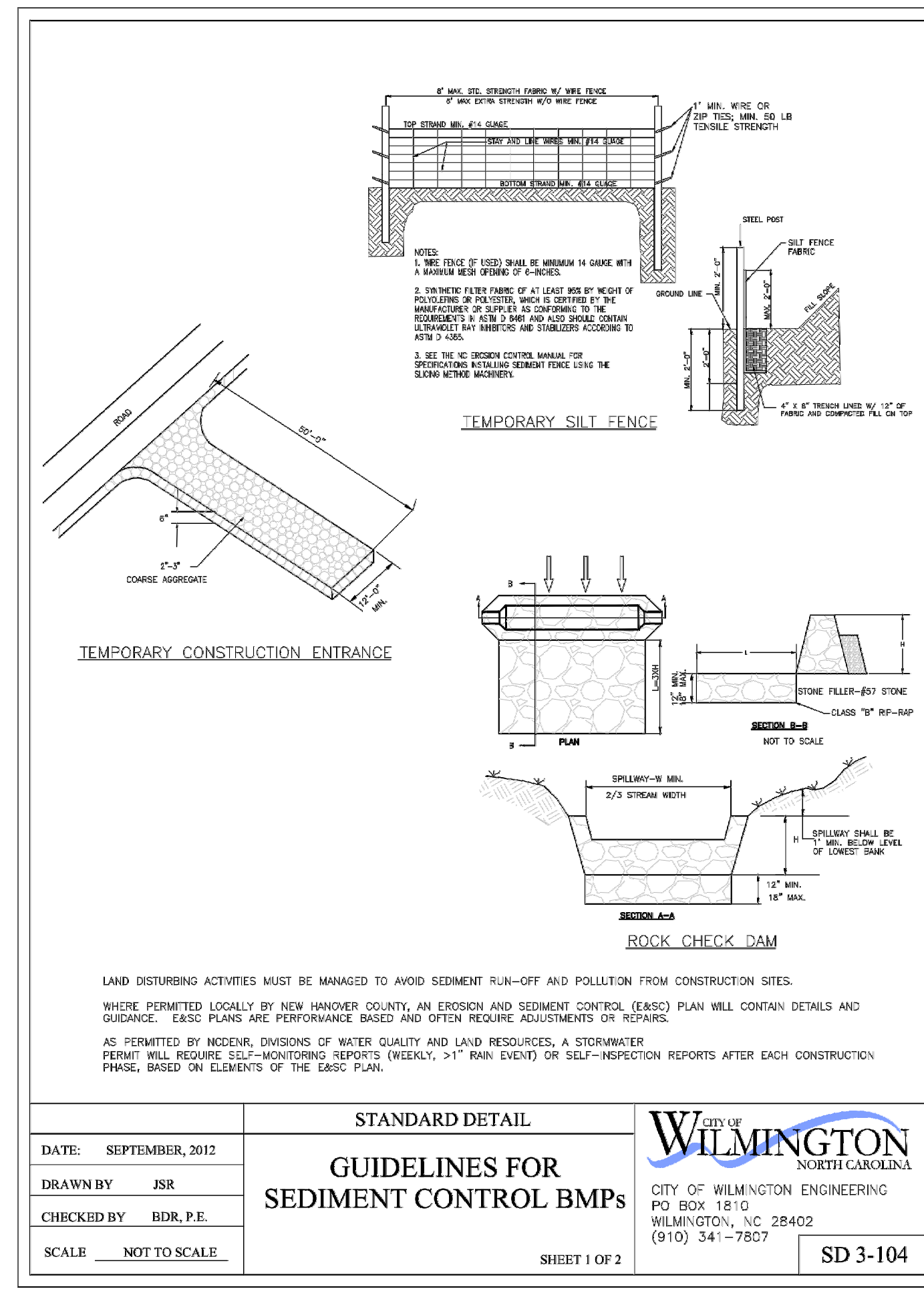




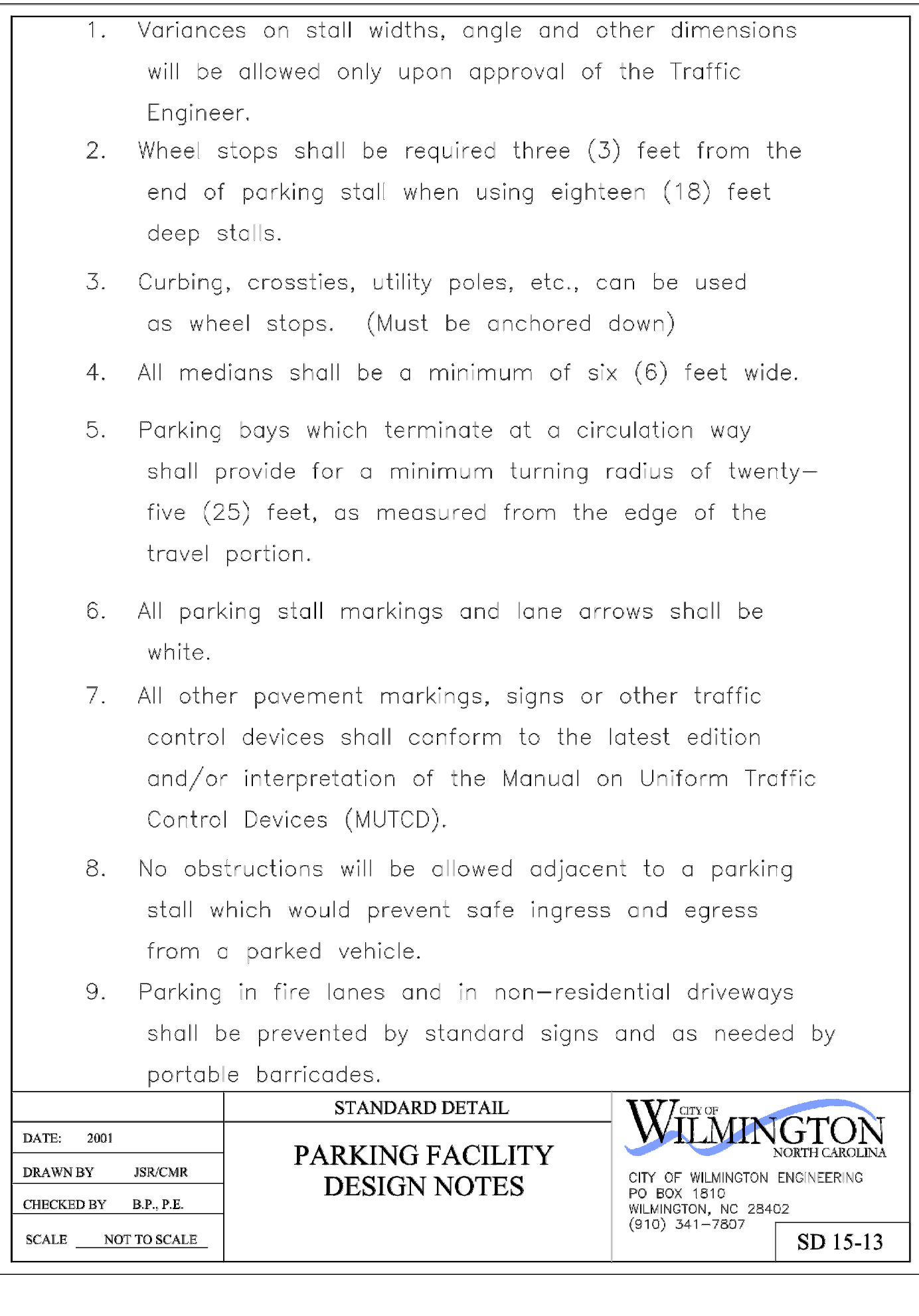
DATE: OCTOBER, 2010	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>	SD 3-10
DRAWN: PB/JSR	SIDEWALK		
CHECKED: DEC			
SCALE: NOT TO SCALE			



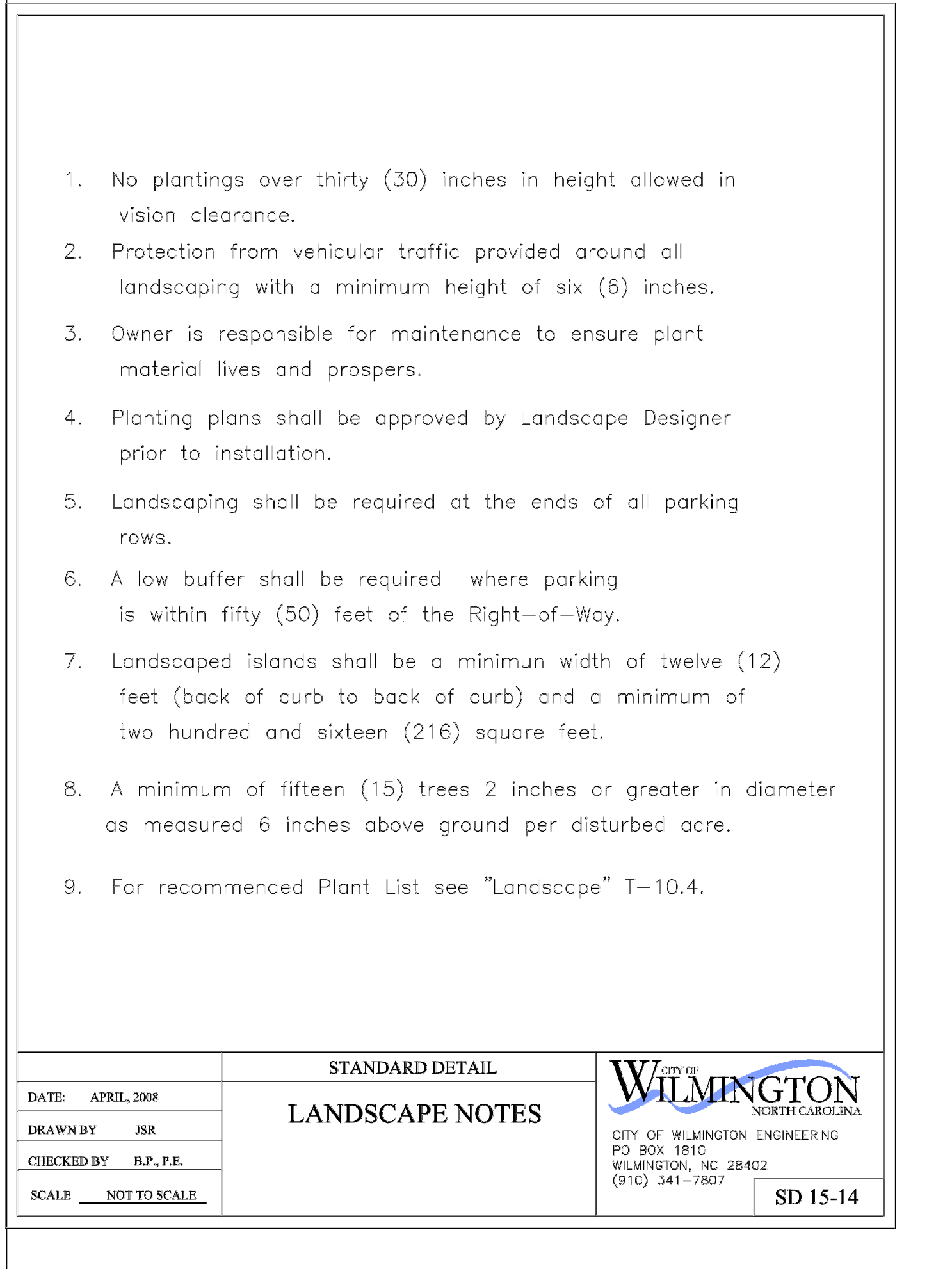
DATE: AUGUST, 2011	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>	SD 3-11
DRAWN: PB/JSR	CURBING		
CHECKED: DEC			
SCALE: NOT TO SCALE			



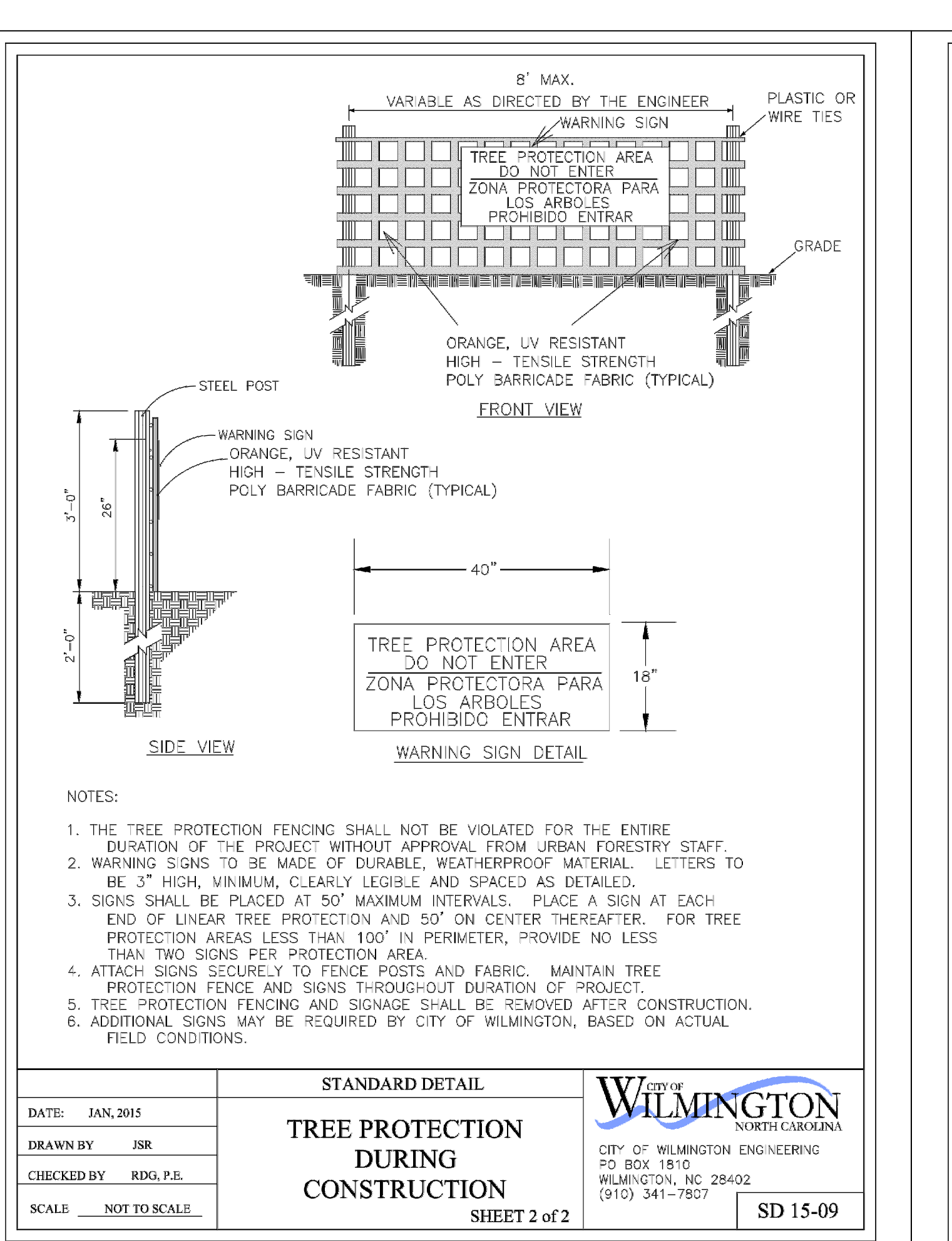
DATE: SEPTEMBER, 2012	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>	SD 3-104
DRAWN BY: JSR	GUIDELINES FOR SEDIMENT CONTROL BMPs		
CHECKED BY: BDR, P.E.			
SCALE: NOT TO SCALE			



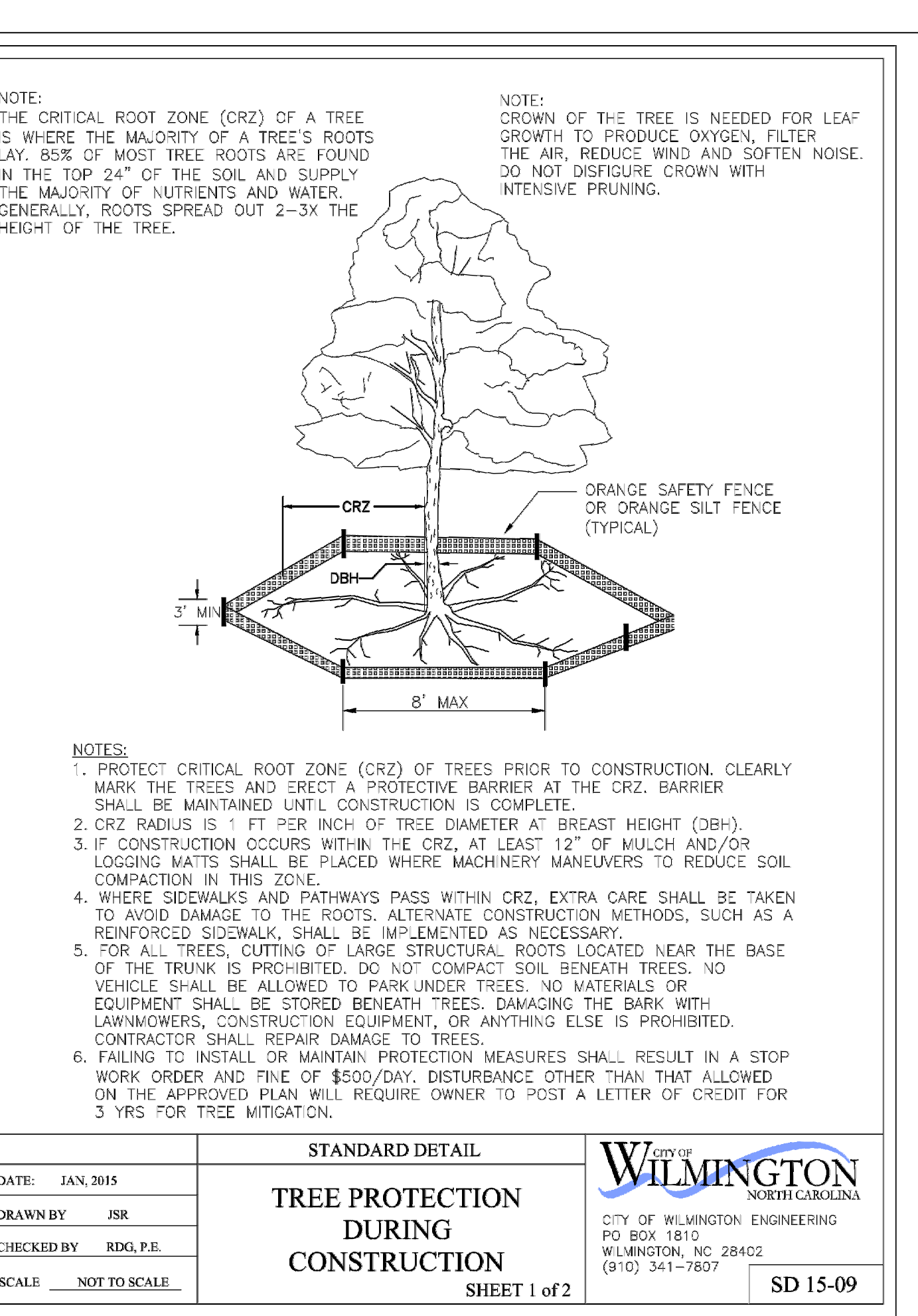
DATE: 2001	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>	SD 15-13
DRAWN BY: JSR/CMR	PARKING FACILITY DESIGN NOTES		
CHECKED BY: B.P., P.E.			
SCALE: NOT TO SCALE			



DATE: APRIL, 2008	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>	SD 15-14
DRAWN BY: JSR	LANDSCAPE NOTES		
CHECKED BY: B.P., P.E.			
SCALE: NOT TO SCALE			



DATE: JAN, 2015	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>	SD 15-09
DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION		
CHECKED BY: RDG, P.E.			
SCALE: NOT TO SCALE			



DATE: JAN, 2015	STANDARD DETAIL	<p>CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807</p>	SD 15-09
DRAWN BY: JSR	TREE PROTECTION DURING CONSTRUCTION		
CHECKED BY: RDG, P.E.			
SCALE: NOT TO SCALE			

APPROVED CONSTRUCTION PLAN

PLANNING: \_\_\_\_\_

TRAFFIC: \_\_\_\_\_

FIRE: \_\_\_\_\_

Public Services/Engineering Division APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit #: \_\_\_\_\_

Signed: \_\_\_\_\_

REV	DATE	DESCRIPTION	BY	ISSUE/REF
1	12-01-2016	REVISION PER CITY COMMENTS		
0	9-9-2016	FIRST ISSUE		

TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tegroup.net  
N.C. LICENSE # C-1794

NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 043770 JASON W. CHRISTY

December 1, 2016

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

REGIONAL MGR: \_\_\_\_\_

REGIONAL DEV. DIRECTOR: \_\_\_\_\_

REGIONAL CONSTRUCTION MGR: \_\_\_\_\_

REGIONAL REAL ESTATE MGR: \_\_\_\_\_

CO-SIGN SIGNATURES: \_\_\_\_\_

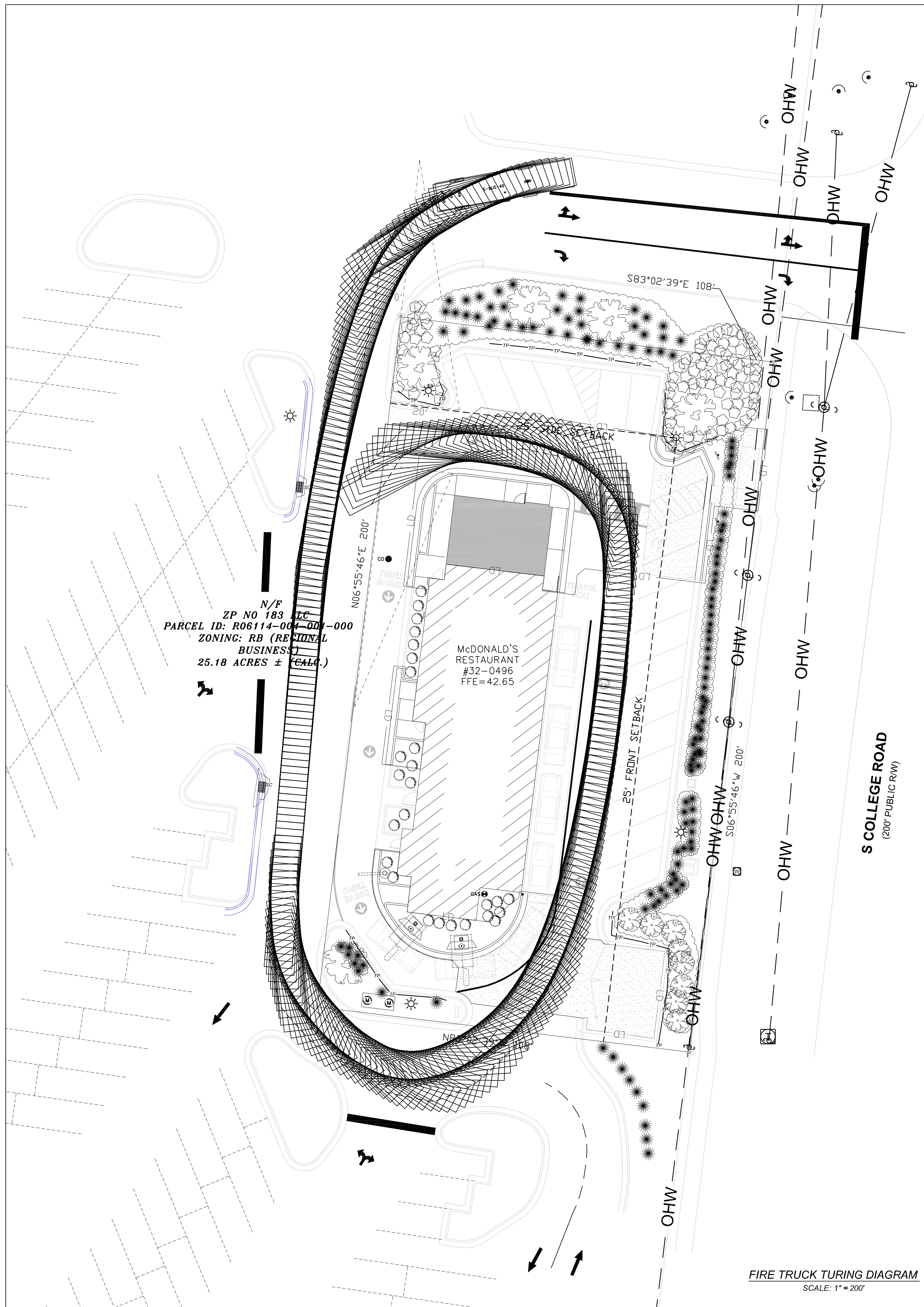
AREA CONSTRUCTION MGR: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_

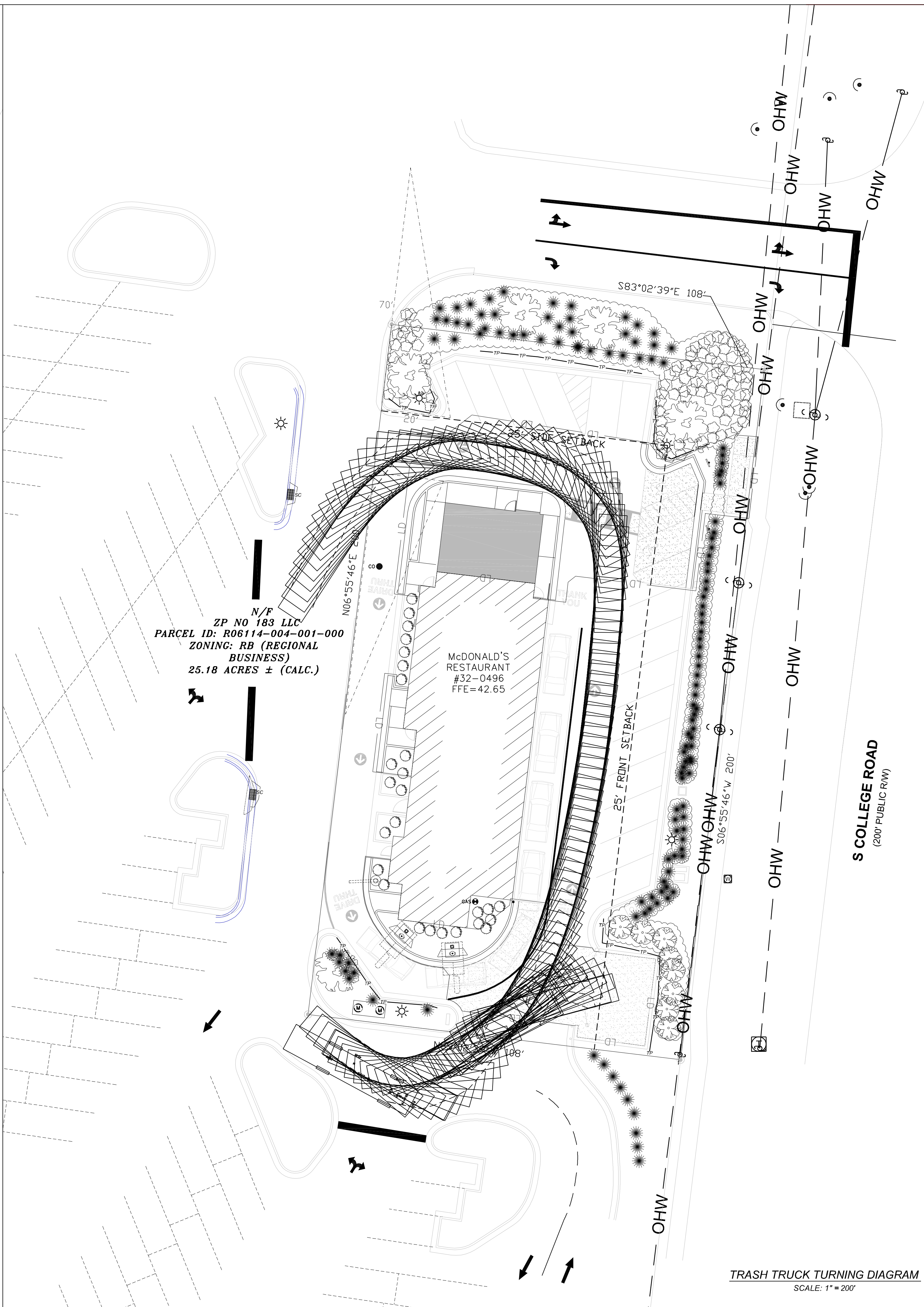
OFFICE ADDRESS: 4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

PLAN APPROVAL	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		FINAL	-	-
		PLAN CHECKED	-	-
		AS-BUILT	-	-


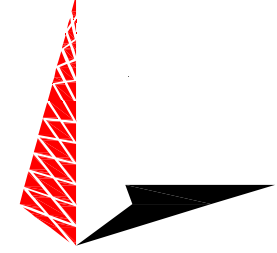

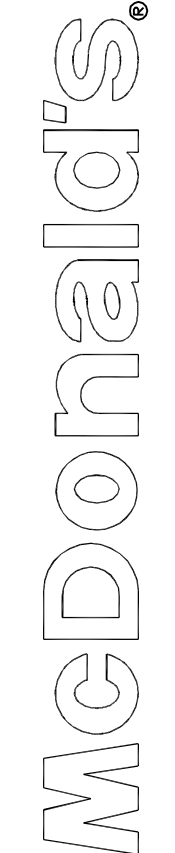
C-9 CITY STANDARDS



FIRE TRUCK TURNING DIAGRAM  
SCALE: 1" = 200'



TRASH TRUCK TURNING DIAGRAM  
SCALE: 1" = 200'

APPROVED CONSTRUCTION PLAN		
NAME	DATE	
PLANNING		
TRAFFIC		
FIRE		
 Public Services/Engineering Division APPROVED DRAINAGE PLAN Date: _____ Permit # _____ Signed: _____		
REV	DATE	
0	9-9-2016	
1	12-01-2016	
DESCRIPTION	BY / ISSUE/REF	
FIRST ISSUE		
REVISION PER CITY COMMENTS		
 <b>TOWER ENGINEERING PROFESSIONALS</b> 326 TRYON ROAD RALEIGH, NC 27603 OFFICE: (919) 661-6351 www.tepgroup.net N.C. LICENSE # C-1794		
 NORTH CAROLINA PROFESSIONAL SEAL 043770 ENGINEER PATTON W. CRIDGEBY		
December 1, 2016		
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.		
OFFICE	ADDRESS	
REGION		
4691 SIX FORKS ROAD - SUITE 200 - RALEIGH, NC 27609		
PLAN APPROVAL	DATE	
SIGNATURE (2 REQUIRED)		
REGIONAL MGR		
REGIONAL DEV. DIRECTOR		
REGIONAL CONSTRUCTION MGR.		
REGIONAL REAL ESTATE MGR.		
CO-SIGN SIGNATURES		
AREA CONSTRUCTION MGR.		
CONTRACTOR		
STATUS	DATE	BY
FINAL	-	-
PLAN CHECKED	-	-
AS-BUILT	-	-
C-10		
TRUCK TURN DIAGRAM SHEET		

LANDSCAPING CALCULATIONS (FOR EXPANSIONS OF 10%-25% IN GFA)

TREE CREDITS	DBH TO CREDIT CONVERSION	PRESERVED TREES	CALCULATED CREDITS
	2-5 IN. DBH = 1 CREDIT 6-11 IN. DBH = 2 CREDITS 12-17 IN. DBH = 3 CREDITS 18-23 IN. DBH = 4 CREDITS	(1) T-3 AT 2" MIN. DBH  (1) 12" T-1 & (2) 12" T-2s (1) 18" T-1	1 CREDIT +  9 CREDITS + 4 CREDITS = 14 TOTAL CREDITS ALLOWED
TREES	REQUIREMENT	REQUIRED	PROVIDED
	15 PER DISTURBED ACRE	0.14 DISTURBED ACRES X 15 = 2 TREES REQUIRED	4 TREES PROVIDED 0 ADDITIONAL
STREET YARD	REQUIREMENT	REQUIRED	PROVIDED
	1/2 OF THE REQUIRED FOR NEW CONSTRUCTION  NEW CONSTRUCTION: 1 CANOPY TREE (OR 3 UNDERSTORY TREES) AND 6 SHRUBS PER 600 SF OF STREET YARD	200 LF X 25 (MULTIPLIER) X 1/2 = 2500 SF  4 CANOPY TREES REQUIRED 25 SHRUBS REQUIRED	4 TREE CREDITS FROM 18" T-1  EXISTING EVERGREEN SCREENING TO REMAIN
INTERIOR LANDSCAPING	REQUIREMENT	REQUIRED	PROVIDED
	4 PERCENT OF VEHICULAR USE AREA	10,741 SF OF VUA 10,741 X 0.04 = 429.6 SF 430 SF REQUIRED	446 SF PROVIDED
FOUNDATION PLANTING	REQUIREMENT	REQUIRED LANDSCAPING	PROVIDED
	12% OF BUILDING FACE AREA DRIVE THRU SIDE OF BUILDING EXCEPT PER SECTION 18-490(b)(1)	FRONT: 18' X 28.5' X 0.12 = 62 SF NONDT SIDE: 18' X 120.5' X 0.12 = 260 SF REAR: 18' X 36' X 0.12 = 78 SF TOTAL AREA REQUIRED = 400 SF	667 SF PROVIDED

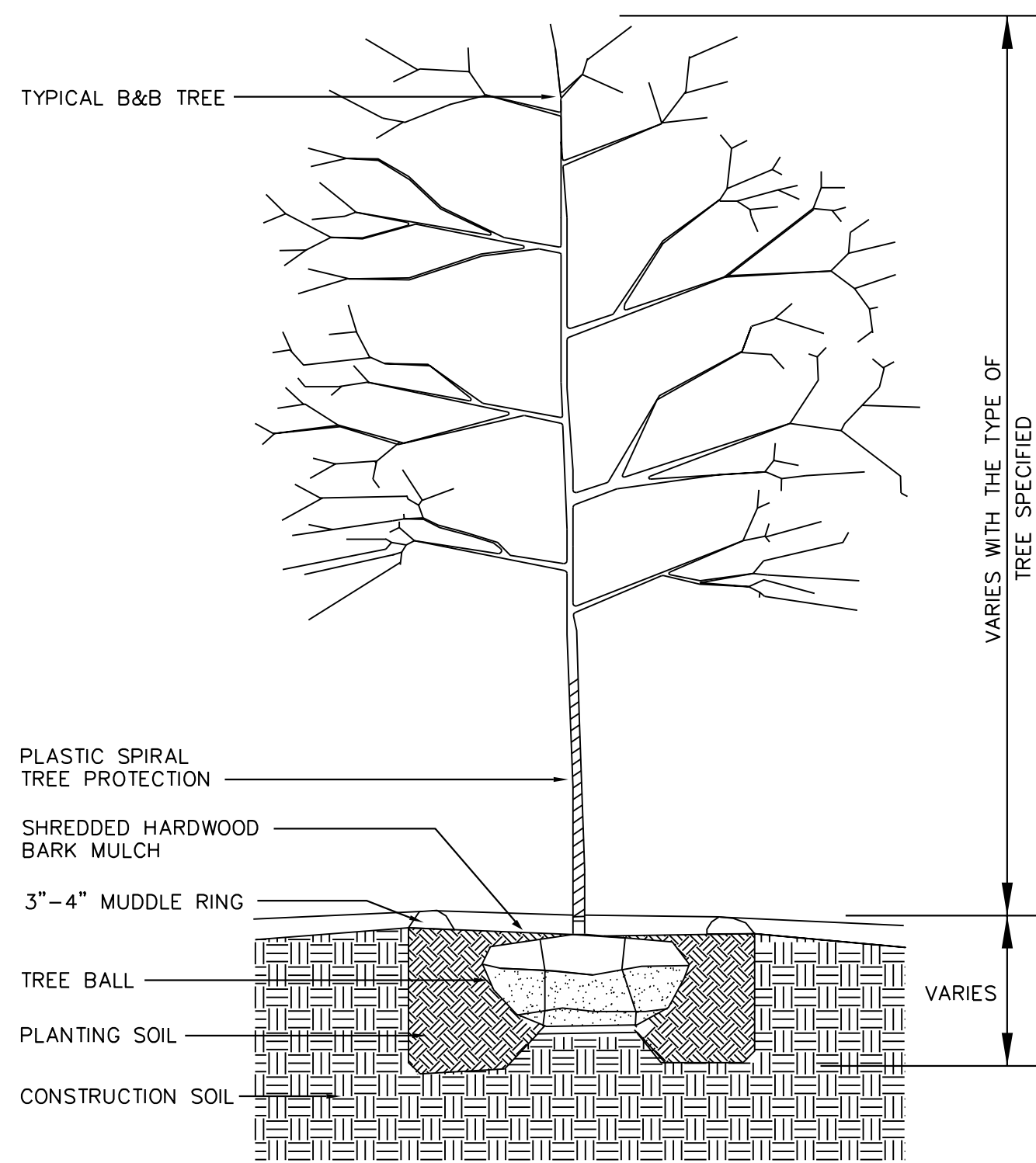
PLANTING SCHEDULE

	DESIGN.		COMMON NAME	BOTANICAL NAME	REMARKS
*EXISTING PLANTING		-	(VARIES)	(VARIES)	EXISTING GROUND COVER TO REMAIN
		-	(VARIES)	(VARIES)	EXISTING SHRUBS TO REMAIN
		-	(VARIES)	(VARIES)	EXISTING SHRUBS TO REMAIN
*EXISTING CANOPY TREES		T-1	WILLOW OAK	-	EXISTING TREE TO REMAIN (> 4" DBH)
		T-2	PEAR	-	EXISTING TREE TO REMAIN (> 4" DBH)
		T-3	MAPLE	-	EXISTING TREE TO REMAIN (> 4" DBH)
SHRUBS		S1	DWARF YAUPON HOLLY	ILEX VOMITORIA 'NAN'	MINIMUM HEIGHT OF 1-1/2" FT AT PLANTING

\*EXISTING VEGETATION BASED OFF AVAILABLE DATA. CONTRACTOR TO VERIFY IN THE FIELD.

NOTE:  
NONE OF THE B&B TREES ARE TO BE STAKED UNLESS INDICATED.

NOTE:  
IN SOME CASES THE MULCH IS ONLY A SPECIFIED DIAMETER - SEE PLANS AND SPECIFICATIONS FOR FURTHER COORDINATION OF MULCHING.



- NOTE:
- ALL TREES SHOULD BE PRUNED ONLY AFTER INSTALLATION AND WATERING IN THE TREE. PRUNE TO GROWER'S SPECIFICATIONS.
  - ALL TREES SHALL COMPLY WITH THE AMERICAN STANDARDS FOR NURSERY STOCK - INCLUDING TREE PIT DEPTH AND WIDTH.

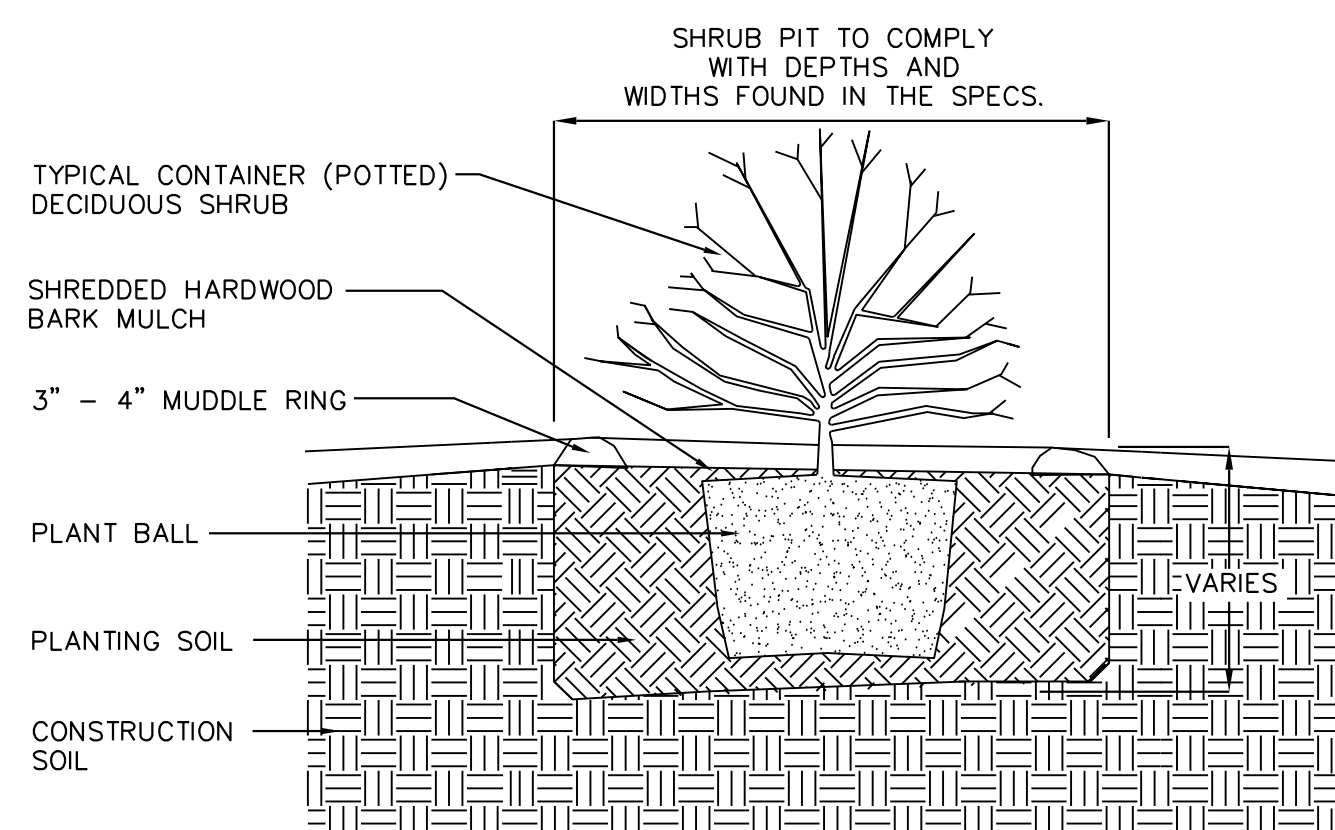
TREE PLANTING DETAIL

LANDSCAPE NOTES:

- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 OR 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
- ENTIRE SITE SHALL BE SODDED UNLESS SPECIFIED ON PLAN OR REQUESTED BY REGIONAL CONSTRUCTION MANAGER USE LOCALLY ADAPTED SOD.
- THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT 6" FROM FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
- PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE DEAD OR DYING PLANT MATERIAL AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
- ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
- ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.
- ALL AREAS NOT MULCHED SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE CITY OF WILMINGTON REQUIREMENTS WITH GRASS SPECIES RECOMMENDED FOR REGION AS PRESCRIBED IN THE SEEDING SCHEDULE PER THE CITY OF WILMINGTON STANDARD DETAIL.
- SITE LIGHTING SHALL NOT BE PLACED IN CONFLICT WITH PLANTED TREES.
- TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH CITY STANDARDS.
- COORDINATE ALL WORK WITH SITE LAYOUT AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
- MULCH ALL AREAS, THAT ARE NOT SEEDED OR SODDED, WITH SHREDDED HARDWOOD MULCH OR APPROVED EQUAL AS SPECIFIED TO A DEPTH OF 3"-4".
- THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
- SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT OR ENGINEER FOR APPROVAL, PRIOR TO INSTALLATION, SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
- ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
- TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY, USING STAKES AND GUYS. SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TREE TIE OF PLASTIC OR HOSE COVERED WIRE.
- THE MAXIMUM GROWTH HEIGHT OF ANY LANDSCAPING WITHIN THE SIGHT TRIANGLE SHALL BE THREE (3) FEET IN HEIGHT OR AS REQUIRED AGENCIES HAVING AUTHORITY OVER THE PROJECT.
- ANY EXISTING LANDSCAPING AGAINST BUILDING DESIGNATED TO REMAIN WHICH IS DAMAGED DURING CONSTRUCTION TO BE REPLACED WITH EQUIVALENT.
- ALL PROPOSED VEGETATION WITHIN SIGHT TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FORM 30"-10'.

NOTE:  
IN SOME CASES THE MULCH IS ONLY A SPECIFIED DIAMETER. SEE PLANS AND SPECIFICATIONS FOR FURTHER COORDINATION OF MULCHING.

NOTE:  
PRUNE SHRUB AS RECOMMENDED BY GROWER AFTER THE PLANT HAS BEEN WATERED INTO THE PLANTING SOIL.



SHRUB PLANTING DETAIL

APPROVED CONSTRUCTION PLAN  
NAME: \_\_\_\_\_ DATE: \_\_\_\_\_  
PLANNING: \_\_\_\_\_  
TRAFFIC: \_\_\_\_\_  
FIRE: \_\_\_\_\_  
WILMINGTON  
Public Services/Engineering Division  
APPROVED DRAINAGE PLAN  
Date: \_\_\_\_\_ Permit #: \_\_\_\_\_  
Signed: \_\_\_\_\_

2 12-29-2016 REVISION 2 PER CITY COMMENTS  
1 12-01-2016 REVISION PER CITY COMMENTS  
0 9-15-2016 FIRST ISSUE  
REV DATE DESCRIPTION BY ISSUER/REF

TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tegroup.net  
N.C. LICENSE # C-1794

December 29, 2016  
McDonald's®  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.  
OFFICE: RALEIGH REGION  
ADDRESS: 4601 SIX FORKS ROAD, SUITE 200 - RALEIGH, N.C. 27609

PLAN APPROVAL SIGNATURE (2 REQUIRED)  
REGIONAL MGR. DIRECTOR  
REGIONAL CONSTRUCTION MGR.  
REGIONAL REAL ESTATE MGR.  
CO-SIGN SIGNATURES  
AREA CONSTRUCTION MGR.  
CONTRACTOR

STATUS DATE BY  
FINAL - -  
PLAN CHECKED - -  
AS-BUILT - -

STREET ADDRESS  
2702 S. COLLEGE ROAD  
CITY WILMINGTON STATE NORTH CAROLINA  
COUNTY NEW HANOVER  
PIN R06114-004-001-000 LOCATION CODE NUMBER 032-0496  
TEP PID 56725

SCALE: 1" = 20'-0"

LANDSCAPE PLAN L-1